



Administration Office
503/645-6433
Fax 503/629-6301

**Board of Directors Regular Meeting
December 7, 2015
5:30 pm Executive Session; 7:00 pm Regular Meeting
HMT Recreation Complex, Peg Ogilbee Dryland Meeting Room
15707 SW Walker Road, Beaverton**

AGENDA

1. Executive Session*
 - A. Land
 - B. Personnel
2. Call Regular Meeting to Order
3. Action Resulting from Executive Session
4. [Presentation: Parks Bond Citizen Oversight Committee Annual Report](#)
5. [Public Hearing: Approve Findings Supporting Brand Name Exemption for the HMT Aquatic Center Roof Project](#)
 - A. Open Hearing
 - B. Staff Report
 - C. Public Comment**
 - D. Board Discussion
 - E. Close Hearing
 - F. Board Action
6. Audience Time**
7. Board Time
8. Consent Agenda***
 - A. [Approve: Minutes of November 2, 2015 Regular Board Meeting](#)
 - B. [Approve: Monthly Bills](#)
 - C. [Approve: Monthly Financial Statement](#)
 - D. [Award: Harman Swim Center Renovation Construction Contract](#)
 - E. [Approve: Resolution Appointing Audit Committee Member](#)
 - F. [Approve: Resolution Authorizing Application for the 2016 Veterans and War Memorials Grant Program for Relocation of Vietnam War Memorial](#)
9. Unfinished Business
 - A. [Approve: Trails Functional Plan](#)
 - B. [Information: General Manager's Report](#)
10. New Business
 - A. [Approve: Resolution Appointing Advisory Committee Members](#)
 - B. [Approve: Resolution Naming Recently Acquired Park Property](#)
11. Adjourn

Executive Session:** Executive Sessions are permitted under the authority of ORS 192.660. Copies of the statute are available at the offices of Tualatin Hills Park & Recreation District. *Public Comment/Audience Time:** If you wish to be heard on an item not on the agenda, or a Consent Agenda item, you may be heard under Audience Time with a 3-minute time limit. If you wish to speak on an agenda item, also with a 3-minute time limit, please wait until it is before the Board. Note: Agenda items may not be considered in the order listed. *****Consent Agenda:** If you wish to speak on an agenda item on the Consent Agenda, you may be heard under Audience Time. Consent Agenda items will be approved without discussion unless there is a request to discuss a particular Consent Agenda item. The issue separately discussed will be voted on separately. In compliance with the Americans with Disabilities Act (ADA), this material, in an alternate format, or special accommodations for the meeting, will be made available by calling 503-645-6433 at least 48 hours prior to the meeting.



MEMO

DATE: November 30, 2015
TO: Board of Directors
FROM: Doug Menke, General Manager

RE: **Information Regarding the December 7, 2015 Board of Directors Meeting**

Agenda Item #4 – Parks Bond Citizen Oversight Committee Annual Report

Attached please find a memo reporting that Parks Bond Citizen Oversight Committee members Wink Brooks and Steve Pearson will be at your meeting to present the committee's sixth annual report.

Agenda Item #5 – Public Hearing: Approve Findings Supporting Brand Name Exemption for Aquatic Center Roof Project

Attached please find a memo requesting that the board of directors conduct a public hearing regarding district staff's request for a brand name exemption for the HMT Aquatic Center project's roofing material. Keith Hobson, director of Business & Facilities, will be at your meeting to provide an overview of the information and to answer any questions the board may have.

Action Requested: Board of directors' approval of the selected roofing manufacturer to be the only specified roofing for the HMT Aquatic Center project's roof material.

Agenda Item #8 – Consent Agenda

Attached please find consent agenda items #8A-F for your review and approval.

Action Requested: Approve Consent Agenda Items #8A-F as submitted:

- A. Approve: Minutes of November 2, 2015 Regular Meeting
- B. Approve: Monthly Bills
- C. Approve: Monthly Financial Statement
- D. Award: Harman Swim Center Renovation Construction Contract
- E. Approve: Resolution Appointing Audit Committee Member
- F. Approve: Resolution Authorizing Application for the 2016 Veterans and War Memorials Grant Program for Relocation of Vietnam War Memorial

Agenda Item #9 – Unfinished Business

A. Trails Functional Plan

Attached please find a memo and final draft Trails Functional Plan for the board's consideration of adoption. Keith Hobson, director of Business & Facilities, and Steve Gulgren, superintendent of Design & Development, will be at your meeting to provide an overview of the plan and to answer any questions the board may have.

Action Requested: Board of directors' approval of the Trails Functional Plan.

B. [General Manager's Report](#)

Attached please find the General Manager's Report for the December regular board meeting.

Agenda Item #10 – New Business

A. [Resolution Appointing Advisory Committee Members](#)

Attached please find a memo requesting board of director's appointment of 27 advisory committee members to three new committees, as well as board discussion and consensus of which board members are to serve as liaisons to the new advisory committees. Aisha Panas, director of Park & Recreation Services, and Bruce Barbarasch, superintendent of Natural Resources & Trails Management, will be at your meeting to provide an overview of the memo and to answer any questions the board may have.

Action Requested: Board of directors' approval of Resolution 2015-19, appointing advisory committee members.

B. [Resolution Naming Recently Acquired Park Property](#)

Attached please find a memo regarding proposed names for three recently acquired park properties: a neighborhood park in South Beaverton, and a neighborhood park and a natural area in the Cedar Mill area. Keith Hobson, director of Business & Facilities, and Steve Gulgren, superintendent of Design & Development, will be at your meeting to provide an overview of the proposal and to answer any questions the board may have.

Action Requested: Board of directors' approval of Resolution 2015-20, naming recently acquired park properties as Steeplechase Park, Timberland Park, and Cedar Mill Creek Greenway.

Other Packet Enclosures

- [Management Report to the Board](#)
- [Monthly Capital Report](#)
- [Monthly Bond Capital Report](#)
- [System Development Charge Report](#)
- [Newspaper Articles](#)



MEMO

DATE: November 30, 2015
TO: The Board of Directors
FROM: Doug Menke, General Manager

RE: **Parks Bond Citizen Oversight Committee Annual Report**

The Parks Bond Citizen Oversight Committee has compiled their sixth annual report (attached). Oversight committee members Steve Pearson and Wink Brooks will be at the December 7, 2015 Regular Board meeting to present the report to the board of directors and answer any questions they may have.

Action Requested

No board of directors action requested. Informational report only.

Tualatin Hills Park and Recreation District

Citizen Bond Oversight Committee

Tualatin Hills Park and Recreation District (THPRD) is the largest special park district in Oregon. It spans approximately 50 square miles and serves more than 230,000 residents in northeastern Washington County. In 2008 THPRD developed a \$100,000,000 bond measure (Measure 34-56 "Bonds to Preserve Natural Areas, Water, Improve Parks, Create Trails") to fund an extensive program of land acquisitions for parks, trails and natural areas, natural area restoration and preservation, park development, construction and rehabilitation of various facilities and other projects. District voters approved this in 2008. The Bond Measure included provisions for a citizen oversight committee and also required yearly financial audits by an independent auditor. The Citizens' Committee was directed to report annually to the Board and the public regarding conformance with stated Bond Measure objectives and to make recommendations, if any, for improving the Bond Program efficiency, administration or performance.

The initial decisions and guidelines for this process, with details of planning, financings, land acquisition and project completions through June 30, 2015, were described in the Committee's first five reports, delivered to the Board in November 2010, December 2011, and November 2012, 2013, and 2014. These earlier reports, prior to July, 2014, are available on the THPRD website at www.thprd.org under the 2008 Bond Measure/Citizen Oversight Committee tab.

Fiscal Year 2015 Overview

The bond program has now reached a relatively advanced phase. Many projects have been substantially completed and a majority of the bond proceeds have been spent or committed. This report will deal primarily with activities in the 2014-2015 fiscal year and other recent and proposed activities.

During the 2014-2015 fiscal year THPRD spent over \$5.8 million of its bond funds for a cumulative expenditure of \$73.4 million to June 30, 2015. The District acquired an additional 12.1 acres of land, and completed 27 construction projects. Many acquisitions and projects have been completed, and many more are approaching completion or are scheduled for near-term completion. THPRD has made substantive and appropriate progress in all areas of the Bond Program.

The year to year process of the Bond program shows in the following table. Money spent for construction and acquisitions ramped up slowly for the first two years (only \$465,172 was spent in FY 2009), and then increased considerably over the last six years. Some dollar values are slightly different from last year's report due to minor adjustments after the reports were published. A concern does exist regarding the projected \$2.9 million deficit projected at the end of June, 2015 (see Looking Forward section).

The steady progress of the program is shown in the following table.

THPRD Bond Program-Cumulative Snapshot of Activity

	<u>6/30/2010</u>		<u>6/30/2011</u>		<u>6/30/2012</u>		<u>6/30/2013</u>		<u>6/30/2014</u>		<u>6/30/2015</u>	
	Units	\$000	Units	\$000	Units	\$000	Units	\$000	Units	\$000	Units	\$000
Money Spent												
Each Year	-	3,352	-	16,965	-	13,471	-	15,755		17,520		5,873
Cumulative	-	3,817	-	20,782	-	34,253	-	50,008		67,528		73,401
Construction Projects												
Completed	18	1,580	25	2,593	42	7,024	51	18,414	68	30,639	95	37,504
In Progress	8	1,972	31	4,784	65	11,592	57	9,504	50	9,034	32	5,781
Land Acquisition (Units in Acres)												
Parks	0	178	38	11,836	46	13,739	53	17,641	66	19,153	71	19,862
Natural Areas	0	4	1	206	3	288	40	2,113	52	3,962	58	4,465
Trail Corridors	0	12	3	689	5	857	7	1,085	9	1,193	10	1,216
Community Center	0	4	1	590	1	614	4	1,021	14	3,176	14	3,897

FY2009-2015 BOND PROGRAM FINANCIAL AND PROJECT SUMMARY
(\$ IN THOUSANDS)

Purpose & Promises Made	Initial Bond Program Allocation	Adjusted Bond Program Allocation	Expended Thru 6.30.2015	Estimated Cost to Complete	Projected Balance 6.30.2015	Planned Projects	Projects Completed	Contracts Awarded	Projects Remaining
LAND ACQUISITION									
New Neighborhood Parks	9,000.0	11,605.9	11,384.5	221.4	(0.0)	6	11	0	0
New Community Park	10,000.0	8,477.1	8,477.1	0.0	0.0	1	2	0	0
New Linear Park & Trail	1,200.0	1,222.8	1,216.1	6.7	0.0	N/A	N/A	N/A	N/A
New Community Center SW	5,000.0	3,920.6	3,896.5	24.1	(0.0)	1	2	0	0
Total	25,200.0	25,226.4	24,974.2	252.2	(0.0)				
PARKS AND YOUTH ATHLETIC FIELDS									
New Neighborhood Park Development	3,750.0	5,237.9	5,237.9	0.0	0.0	5	5	0	0
Renovate/Redevelop Neighborhood Parks	3,000.0	3,853.8	3,034.4	2,328.4	(1,509.0)	5	4	0	1
Develop New Community Park	5,000.0	8,304.8	679.5	11,125.2	(3,499.9)	1	0	0	1
Renovate/Redevelop Community Parks	7,000.0	10,032.5	2,856.2	7,831.1	(654.8)	2	1	0	1
Youth Athletic Field Development	5,000.0	3,179.5	1,913.3	1,529.7	(263.5)	10	6	0	4
Synthetic Field Development	4,000.0	0.0	0.0	0.0	0.0	2	0	0	2
Outdoor Splash Pad	525.0	0.0	0.0	0.0	0.0	1	0	0	1
Total	28,275.0	30,608.5	13,721.3	22,814.4	(5,927.2)	26	16	0	10
NATURAL AREA PRESERVATION									
Acquisition	8,400.0	8,602.4	4,464.8	4,137.6	0.0	N/A	N/A	N/A	N/A
Restoration	3,600.0	3,858.8	1,120.4	2,738.4	0.0	36	12	9	25
Total	12,000.0	12,461.2	5,585.2	6,876.0	0.0				
NEW LINEAR PARK & TRAIL DEVELOPMENT									
	14,745.0	15,459.3	14,071.3	1,494.7	(106.7)	9	6	1	2
DEFERRED PARK MAINT. REPLACEMENTS									
	1,500.0	1,832.5	1,832.5	0.0	0.0	18	18	0	0
FACILITIES REHAB, EXPANSION & IMPROVE.									
Facility Rehabilitation	6,500.0	6,344.2	3,427.4	1,274.2	1,642.6	16	12	2	3
Facility Expansion & Improvements	7,550.0	8,156.4	8,156.4	0.0	0.0	5	5	0	0
Total	14,050.0	14,500.6	11,583.8	1,274.2	1,642.6				
ADA/ACCESS IMPROVEMENTS									
	1,000.0	1,256.3	1,178.6	77.7	0.0	13	12	1	0
BOND ISSUANCE COST & PROJECT MGMT.									
	3,230.0	2,102.0	453.9	45.5	1,602.6				
GRAND TOTAL	100,000.0	103,446.8	73,400.8	32,834.7	(2,788.7)				

Financial and Project Summary Comments

For Fiscal Years 2009-2015, the primary reasons for the changes in the Adjusted Bond Program Allocation column are (1) Interest earned on unspent bond funds; (2) Additional Bond Proceeds; (3) Project Grouping Adjustments to the Parks and Youth Athletic Fields expenditure categories to move projects forward in tandem;(4) combining some funds from the Facility Rehabilitation category into the Facility Expansion and Improvement category for related work in the Elsie Stuhr Center project; (5) Project Management Adjustments; and (6) Funding Category Transfers.

Thru June 30, 2015 additional Bond Proceeds of \$1,464,347 and \$1,807,684 of earned interest on invested Bond Funds has increased the Original Bond Program amount from \$100,000,000 to its Adjusted Bond Program amount of \$103,446,911. The other adjustments indicated above are net zero.

Two items on THPRD's management of Bond Proceeds needs to be mentioned. The original \$100,000,000 was achieved by issuing \$98,565,000 in bonds that provided an additional \$1,435,000 thru premiums. The District subsequently issued the remaining authority and that plus a small additional premium totals the \$1,467,347 as additional bond proceeds. Also, thru Advance Refunding they were able to shorten the retirement of the bond issue by two years, resulting in a net present savings value of almost \$3,000,000 in interest costs, while maintaining a stable levy rate of 0.34 cents per thousand to the taxpayers. These provide additional funds as well as less overall interest expense to citizens.

Over \$2.3 million in outside funds have been secured to leverage the Bond Program's own funds on various projects. These additional funds are not included in the Financial Summary Table.

Land Acquisitions 2014-15

Land acquisitions have been evenly distributed throughout the territory of the Tualatin Hills Park & Recreation District (THPRD) this past year. The tables included in this report identify the actual purchases for the Fiscal Year 2014-15. The map shows each of the purchases for this past year and also includes existing THPRD parks and facilities throughout the district.

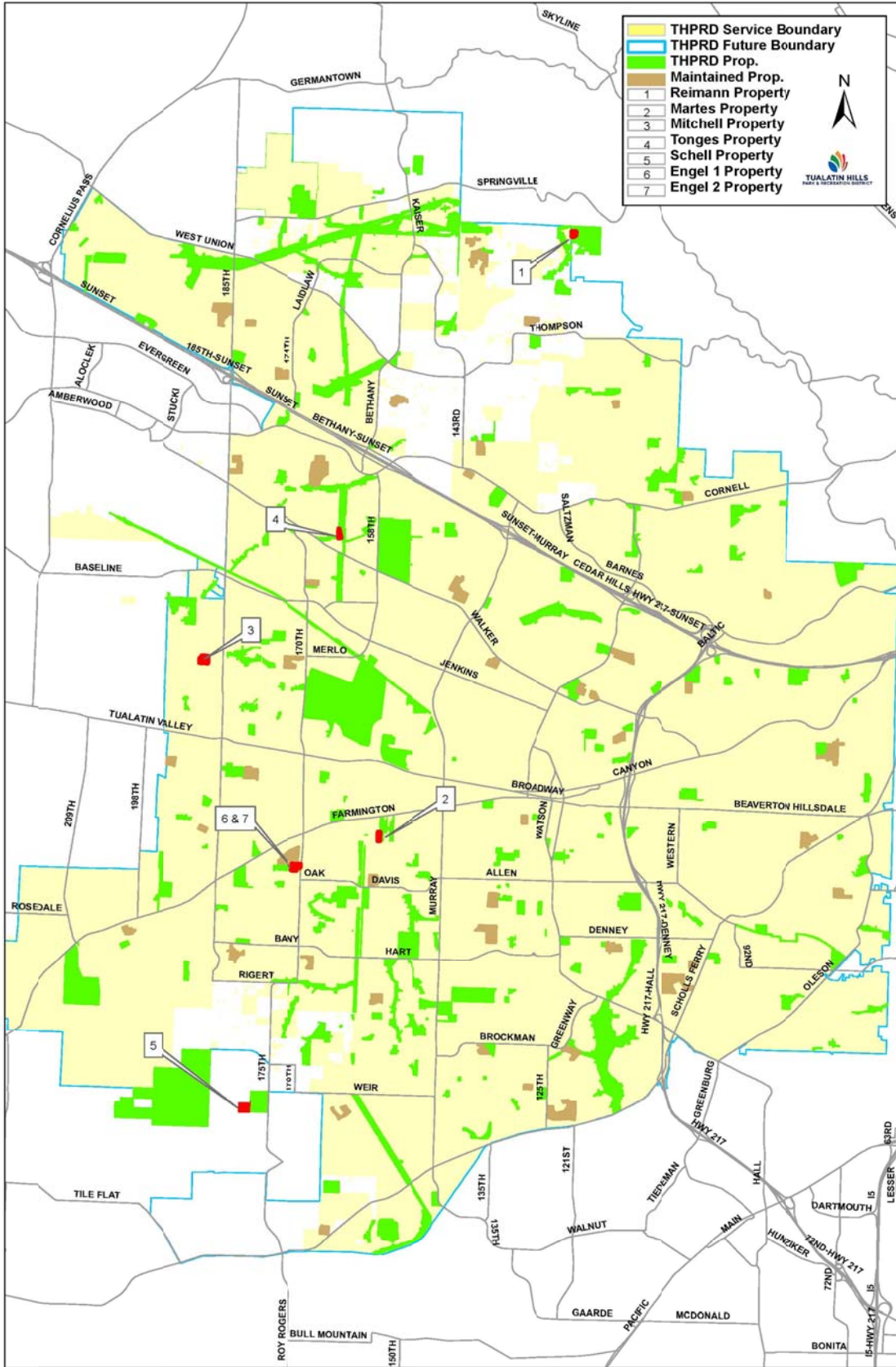
The tables in this report identify the purchases and actual spending in each acquisition category. Cost accounting for park, corridor, natural area and community center land acquisition includes the following costs: land acquisition specialists, property purchase price, appraisers and appraisal review, environmental review, title and other closing costs, as well as removal of debris and existing structures or hazards. Some of these additional costs have not been fully allocated to specific acquisitions and are reported in general terms in the table below.

Properties acquired for new parks, trails and natural areas will not necessarily be developed from Bond proceeds. Timing and funding for completion and development of these properties will be determined by the THPRD Board of Directors in the future pending funding availability and staff recommendations. Bond proceeds are intended to provide for development of some, but not all, of the land acquired for trails and linear parks, and are intended to provide for restoration of many of the sites acquired as natural areas.

In addition to Bond proceeds funding land acquisitions, other sources have contributed to the full costs of acquiring some of these lands that were purchased. These sources include Metro Nature in the Neighborhood Grants, System Development Charges (SDCs), City of Beaverton funding, and private donations.

As the local economy has continued to rebound and improve, costs for acquiring land has continued to rise significantly. This has been a major concern for the THPRD Board of Directors and the Parks Bond Citizen Oversight Committee. The Committee is encouraging accelerated purchases in the Natural Area category to ensure meeting citizen support for habitat and natural area acquisitions.

Completed THPRD Land Acquisitions including Other Funding							
July 1, 2014 to June 30, 2015							
Map #	Previous Owner(s) Last Name(s)	Total Size (acres)	Acquisition Date	Property Cost ¹	Purpose	Map Classification	Funding Source
1	Reimann	0.89	7/1/2014	\$36,878.00	Future Natural Area	Natural Area	Bond
2	Martes	0.94	7/31/2014	\$296,360.94	Future Natural Area	Natural Area	Bond with Metro Nature in the Neighborhood grant reimbursement
3	Mitchell	2.50	12/31/2014	\$683,204.49	Future Neighborhood Park	Park	Bond
4	Tonges	0.63	7/9/2014	\$14,360.00	Trail corridor - Waterhouse Trail	Trail	Bond Trail Acquisition
5	Schell	5.00	2/27/2015	\$435,000.00	Future Natural Area	Natural Area	Bond supplemented by Metro Nature in the Neighborhoods Target Area Funding
6	Engel 1	0.89	12/5/2014	\$509,000.00	Expansion of Southwest Quadrant Community Park	Park	Bond
7	Engel 2	1.25	6/26/2015	\$475,000.00	Expansion of Southwest Quadrant Community Park	Park	Bond & SDC



Work In Progress

Community and Neighborhood Parks & Youth Athletic Fields

The THPRD standard for a neighborhood park is about three acres. The target for community parks is between 10 and 25 acres. Park amenities depend on the size of the site, but community parks usually offer larger facilities such as sports fields, sheltered group picnic areas, on-site parking and restrooms.

Funds allocated for four Youth Athletic Fields, two Synthetic Turf fields and an Outdoor Splash Pad have been combined for efficiency with funds allocated to Community and Neighborhood Parks. The original commitment of 10 athletic fields and two synthetic turf fields and splash pad will be monitored and confirmed in future reports.

As of June 30, 2015 the current budget for the 26 Parks, Athletic Fields and Splash Pad is \$30,608,300. Actual and estimated future expenditures total \$36,545,500 resulting in a projected deficit of \$5,927,200. Sixteen of the 26 parks, fields and splash pad have been completed. Additional comments on how the deficit will be managed in order to stay within available bond funds are found in the Administrative section of this report.

Parks & Youth Athletic Fields Fiscal Years 2009-2015 Financial & Project Summary

(\$ IN THOUSANDS)

	Adjusted Bond Program Allocation	Expended Thru 6.30.2015	Estimated Cost To Complete	Project Final and/or Estimated Cost	Projected Balance	Project Status
NEW NEIGHBORHOOD PARK DEVELOPMENT						
AM Kennedy Park & Athletic Field	\$1,335.7	\$1,686.6	\$0.0	\$1,686.6	(\$350.9)	Completed
Barsotti Park & Athletic Field	\$1,312.4	\$1,258.1	\$0.0	\$1,258.1	\$54.3	Completed
Hansen Ridge Park	\$787.2	\$753.7	\$0.0	\$753.7	\$33.5	Completed
Roy Dancer Park	\$787.5	\$651.3	\$0.0	\$651.3	\$136.2	Completed
Roger Tilbury Park	\$790.5	\$888.2	\$0.0	\$888.2	(\$97.7)	Completed
Funding Category Transfer	\$224.6	\$0.0	\$0.0	\$0.0	\$224.6	
Total	\$5,237.9	\$5,237.9	\$0.0	\$5,237.9	\$0.0	993.8
RENOVATE AND REDEVELOP NEIGHBORHOOD PARKS						
Cedar Mill Park, Trail & Athletic Fields (2)	\$1,155.0	\$993.8	\$0.0	\$993.8	\$161.2	Completed
Camille Park	\$542.7	\$585.4	\$0.0	\$585.4	(\$42.7)	Completed
Somerset West Park	\$1,055.4	\$188.3	\$2,328.4	\$2,516.6	(\$1,461.2)	2019
Pioneer Park and Bridge Replacement	\$566.0	\$533.4	\$0.0	\$533.4	\$32.6	Completed
Vista Brook Park	\$534.6	\$733.5	\$0.0	\$733.5	(\$198.9)	Completed
Total	\$3,853.7	\$3,034.4	\$2,328.4	\$5,362.7	(\$1,509.0)	

NEW COMMUNITY PARK DEVELOPMENT

SW Community Park and Athletic Fields (2)	\$7,920.5	\$679.5	\$11,125.2	\$11,804.7	(\$3,884.2)	2018
Funding Category Transfer	\$384.3	\$0.0	\$0.0	\$0.0	\$384.3	
Total	\$8,304.8	\$679.5	\$11,125.2	\$11,804.7	(\$3,499.9)	

RENOVATE AND REDEVELOP COMMUNITY PARKS

Cedar Hills Park and Synthetic Athletic Field	\$6,361.1	\$223.1	\$7,831.1	\$8,054.2	(\$1,693.1)	2019
Schiffler Park	\$3,671.4	\$2,633.1	\$0.0	\$2,633.1	\$1,038.3	Completed
Total	\$10,032.5	\$2,856.2	\$7,831.1	\$10,687.3	(\$654.8)	

YOUTH ATHLETIC FIELD DEVELOPMENT

Winkelman Park	\$548.5	\$941.8	\$0.0	\$941.8	(\$393.3)	Completed
Meadow Way Park	\$518.9	\$407.3	\$0.0	\$407.3	\$111.6	Completed
New Fields in NW Quadrant	\$528.0	\$0.1	\$527.9	\$528.0	\$0.0	2019
New Fields in NE Quadrant (Cedar Mill Park)	\$528.0	\$528.0		\$528.0	\$0.0	Completed
New Fields in SW Quadrant	\$528.0	\$0.7	\$527.3	\$528.0	\$0.0	2018
New Fields in SE Quadrant	\$528.0	\$35.4	\$474.4	\$509.8	\$18.2	2017
Total	\$3,179.4	\$1,913.3	\$1,529.6	\$3,442.9	(\$263.5)	
GRAND TOTAL	\$30,608.3	\$13,721.3	\$22,814.3	\$36,535.5	(\$5,927.2)	

Natural Area Restoration Projects

The current total project budget for this category is \$3.8 million of which 29 percent has been spent to date. Much of the natural area restoration takes place in conjunction with other park projects, with approximately 20 percent of target funds being set aside for restoration work on newly acquired natural areas. Currently, THPRD expects this area to be \$865,000 under budget due primarily to partnering with other agencies. Current plans are that the surplus will be dedicated to other projects within the category, including water quality upgrades at selected parks.

Most of the natural area restoration funds are to be used for removal of various invasive non-native weeds and replanting with native plants. Results of this work generally take multiple applications and may be scheduled over 5 years. Because some of the projects will be associated with new natural areas not yet procured, this area of expenditure will likely take longer than others in the Bond program.

Work proceeded on 17 restoration projects in 2014-2015, 10 of which included significant installation of native plants during the year. Funds during 2014-2015 were expended on the Interpretive Signage project which encompassed constructing and installing art work designed to show "changes over time" which is being used to encourage people to come back repeatedly to see what is new. Invasive plant removal, replanting native trees and shrubs, and enhancing trails at Koll Center Wetlands, Lowami Hart Woods and other sites was also accomplished.

Projects will continue in 2015-2016 to replace non-native with native plants, complete the Interpretive Signage/Art work projects, and plan and begin work for new natural area restoration.

New Linear Park and Trail Development

The New Linear Park and Trail Development project category is substantially complete. Progress is shown in the following table.

Linear Park and Trail Status:

Trail/Park Name	Construction Status	Comment
Westside Trail Segments 1, 4, & 7	Completed Fall 2013	None
Jordan/Husen Park Trail	Completed Winter 2013	None
Waterhouse Trail Segments 1, 5 and West Spur	Completed Fall 2014	None
Rock Creek Trail Segments 2 & 5, North Bethany Segment 2	Rock Creek Trail Segments 2 & 5 Completed Winter 2013	Work on North Bethany Segment 2 is currently suspended pending further design and funding options.
Miscellaneous Natural Trails	Whispering Woods, Hyland Woods Park, Bauman Woods and Jenkins Estate Trails Completed. Mt. Williams Trail scheduled for completion Summer 2016.	No other projects are currently contemplated.
Nature Park – Old Wagon Trail	Completed Fall 2010	None
NE Quadrant Trail – Bluffs Park (Phase 2)	Completed Winter 2013	None
Lowami Hart Woods	Completed Winter 2014	None
Westside/Waterhouse Trail Connection	Scheduled for Completion Fall 2016	Project schedule delayed due to right-of-way acquisition and jurisdictional design requirements.

The current budget for the Linear Parks and Trails Bond Program improvement category is \$15,459,311. Funds expended in this category as of June 30, 2015 total \$14,071,345 with an estimated \$1,494,670 needed to complete identified projects that have not been suspended, leaving a small projected bond category deficit of \$106,704. Factors contributing to greater than expected costs include contractual and jurisdictional requirements, permit issues, and unanticipated neighborhood requests. There remains a possibility that the remaining work may be completed with some savings that may mitigate the existing projected deficit in this category.

Deferred Maintenance and Replacements

The 18 projects in this category included replacements of play structures, irrigation systems, pedestrian paths, bridges and boardwalks at the Waterhouse Linear Park, Pioneer and Tualatin Hills Nature Parks, Willow Creek and the Jenkins Estate. Permeable parking lots were also completed at Sunset and Aloha

Swim Centers. All of the \$1,832,000 budgeted for this work has been spent, and all scheduled projects have been completed.

Facility Rehabilitation, Expansions and Replacements

Facility Rehabilitation

Sixteen projects addressing safety and seismic protection, problems with air circulation tunnels at swim centers and general rehabilitation needs were selected using an engineering analysis. Work was completed at Sunset, Aloha and Beaverton Swim Centers, Howard M. Terpenning (HMT) Athletic Center and Cedar Hills Recreation Center. \$6,333,000 was budgeted for this work and \$3,427,200 was expended through June 30, 2015. Three projects remain with an estimated cost of \$1,274,200 leaving a projected balance of \$1,642,600 in this category.

Facility Expansion and Improvements

Expansions of the Elsie Stuhr Center, Howard M. Terpenning Athletic Center and Conestoga Recreation and Aquatic Center (which included a splash pond) were completed as were dressing rooms at the Aloha Swim and HMT Aquatic Centers. The adjusted budget of \$8,157,000 for this category was spent.

ADA Access Improvements

Access and opportunity for disabled people has been facilitated throughout the THPRD. Family-accessible dressing rooms and accessible parking and drop-off zones were constructed and/or modified in 13 projects. This work was completed at Bethany Lake, Lawndale, Lost and Waterhouse Linear Parks, Aloha Swim Center, and the Howard M. Terpenning Recreation Complex.

Financial and project progress data for this section is shown in Table 2. There is a surplus of approximately \$1,643,000 in this category. The THPRD Board is considering applying this surplus to a projected shortfall in the Parks and Youth Athletic Fields category, as discussed in the Looking Forward section.

Project Management, Bond Issuance Costs, Accounting

THPRD's goal for this category is 3 percent of the \$100,000,000 Bond Measure. As of June 30, 2015 actual expenditures were \$2,348,549 or 2.27 per cent of the Total Program Allocation. Of this amount, \$1,894,622 were Project Management costs and \$453,927 were related to Bond Issuance and Accounting costs.

Project Management costs are composed of Planning and Natural Resources staff time spent on each project (other than Land Purchases) as well as temporary personnel hired for the duration of bond funding.

These costs have been allocated by the District to each individual project budget based on the proportion of each project's cost to the overall budget.

Funding Category Transfers

Transferring funds between categories as needed ensures that all objectives of the bond measure are met. This policy was discussed in the Committee's 2013 report. In general, funds are only transferred from a category when it has been determined that all objectives and projects have been or are going to be met. Such transfers must be approved by THPRD's Board.

Thru June 30, 2015 the following have been approved:

- \$224,636 to New Neighborhood Park Development from Bond Issuance & Project Mgmt.
- \$1,655,521 to New Neighborhood Park Land Acquisition from New Community Park Land Acquisition.
- \$798,654 to New Neighborhood Park Land Acquisition from Community Park Land Acquisition.
- \$384,251 to New Community Park Development from Community Center Land Acquisition.
- \$177,920 to Deferred Park Maintenance Replacements from Facility Expansion and Improvements.
- \$192,412 to Deferred Park Maintenance Replacements from Bond Issuance and Project Management.
- \$204,210 to ADA/Access Improvements from Bond Issuance and Project Management.

Looking Ahead

THPRD has met many of the goals of the 2008 Bond Program. Many categories are nearing full completion. The Committee's charge is to make sure programs and projects are completed as intended, consequently the Committee's primary focus continues to be on projects not yet completed and on areas the Committee feels need additional work.

The Committee is currently concerned about three particular areas.

First, the natural area acquisition progress seems slow with only 52 percent of the budgeted dollars expended through June 30, 2015. THPRD initially emphasized acquisitions for other categories, but this category maintains the largest ratio of unspent funds. THPRD is committed to full completion in this area, but there is substantial funding yet to be spent in this important category. The Committee recommends the Board consider hiring a dedicated person to accelerate the acquisition of natural areas.

Second, Natural area restoration can take up to 5 years to remove invasive plants, and plant and replant native plants. This cannot begin on newly acquired properties until they are purchased, placing completion of restoration many years out. The Committee recommends setting up a dedicated fund to assure adequate completion of this area of work after the Bond Program has ended.

Third, the committee was concerned in early 2015 when it received the December 31, 2014 financial reports which reflected a Bond Program deficit of \$2,960,000, the amount needed to complete the Program using current cost estimates. Accelerating construction costs are partially to blame with a 20-25% increase over previous levels. The remaining projects affected by these cost increases are Somerset West Park which added scope because of public input; Cedar Hills Community Park which has design, traffic, and partner coordination issues still to be worked out; and, South West Quadrant Community Park which went from a 10 acre park to a 21 acre park, significantly increasing its scope and cost. The Committee accepts that THPRD has made sensible planning decisions regarding the development of these three parks, as well as other complex projects during the duration of the Bond Program. However, the work over the last year has resulted in estimated cost increases and the Bond Oversight Committee is concerned about the effect of these increases on the District's ability to meet the Bond Program's original goals. While the large change in the new Southwest Community Park was not identified until the February 2015 meeting, significant changes to the other two were identified in the June 2014 financials and at the October 2015 meeting.

The Committee believes that its role is to support all original bond promised improvements and objectives being completed as promised. Some Bond Program funding categories have generated surpluses, while funding deficits appear in other categories, as shown in the financial and project summary tables contained in this report. The District, after staff discussions with the Committee and subsequent Board action, has begun to re-allocate the surpluses to address deficits. The intent is to adjust funding in order to remain consistent with the commitments made by THPRD to the voters in the

original 2008 bond measure. The Committee will continue to monitor this aspect of the Bond Program and report results.

It is likely that costs will not decrease as the economy continues to improve. Since the District cannot overspend its Bond Funds it will be faced with significant challenges in meeting the scope of the remaining projects without eliminating some bid items or obtaining additional funds from the System Development Charge Fund, the City of Beaverton, partner agencies, grants or donations. At this stage in the Bond Program, the Committee may have to meet more frequently to review the final funding allocations for the remaining projects and/or request the staff provide to the Committee revised phasing, design, cost, and funding sources for the three remaining projects. It is the intent of the Committee to closely monitor costs as the Bond Program comes to a close. The Committee looks forward to working with the District over the next two or three years to assure that the Bond Program promises are met.



MEMO

DATE: November 25, 2015
TO: Doug Menke, General Manager
FROM: Keith Hobson, Director of Business & Facilities
RE: Approve Findings Supporting Brand Name Exemption for the HMT Aquatic Center Roof Project

Introduction

Staff request board of directors' approval of a brand name exemption for the HMT Aquatic Center project's roofing material, in accordance with the State of Oregon exemption process pursuant to ORS 279C.345.

Background

The board of directors approved a competitive procurement process to determine a brand name exemption for the HMT Aquatic Center project's roof material at the October 7 board meeting. Staff advertised a Request for Quotes (RFQ) on November 2 which was due November 17. Five submittals were received and three were determined to be responsive to the RFQ criteria. Staff reviewed the proposals for submittal protocol and the architect of record reviewed the proposals for roofing content. The Garland Company's R-mer Span structural panel was determined to be the optimal product for this project. The following are assessments based on criteria that support the selection of this product. Many of these assessments were completed by Opsis Architecture and are documented in their memo dated November 24, 2015 (attached).

1. Roof Panel: Garland provides the only vented standing seam system with vents at the ridge and eave which is very important on a high moisture building such as the Aquatic Center. The panels are symmetrical so single panels can be removed without damaging adjacent panels. The roofing system meets all weather testing requirements.
2. Service: Garland provides project specific engineering, detailing, weekly inspections, progress reporting, coordination with contractor and project close out as a basic service.
3. Warranty: Garland will issue a 30-year no dollar limit warranty.
4. Manufacturer's History and Financial Stability: Garland has a historical track record of successful large scale standing seam roof installations.
5. Cost: Garland provided the best life-cycle cost analysis out the three submittals received.

Proposal Request

Staff are requesting that the board of directors approve the selected manufacturer. Per ORS 279C.345 the selection has to meet one of four criteria. Staff believe it meets ORS 279C.345(2)(a), which states: "It is unlikely that the exemption will encourage favoritism in the awarding of the public improvement contracts or substantially diminish competition for public improvement contracts."

Findings in support of granting an exemption pursuant to ORS 279C.345(2)(a) include:

1. Staff advertised the public notice of the brand name exemption process September 30.
2. Staff advertised an RFQ for roofing materials on November 2.
3. Architects recommended selection was based solely on selecting the best roof for THPRD needs considering quality, warranty, life cycle cost and service, as described above.
4. Multiple general contractors will bid on the project through an invitation to bid and staff have confirmed that multiple subcontractors are approved by the roofing manufacturer for installation as required to meet warranty needs.

Benefits of Proposal

A brand name exemption will allow the district to select a roofing material based on a competitive and qualitative solicitation. It will also provide a clear direction for the design team when putting the construction documents and specification together. While staff could have accomplished this by using a specification that named a brand but allowed an “or approved equal” submittal, the process used ensured an open competitive process to determine the brand to be specified.

Potential Downside of Proposal

There appears to be no downside to this proposal.

Action Requested

Board of directors’ approval of the selected roofing manufacturer to be the only specified roofing for the HMT Aquatic Center project’s roof material.

MEMORANDUM

Date: December 2, 2015
To: Peter Foster, Tualatin Hills Park & Recreation District
From: Chris Roberts
Project: THPRD HMT Aquatic Center
Project Number: 4637-01

Brand Name specification for Metal Roofing RFQ Review

Opsis has reviewed the submitted brand name specifications for metal roofing request for qualifications (RFQ). The submittals received by the qualification deadline were provided by AEP Span, The Garland Company and Taylor Metal Products. Opsis architecture recommends the use of the Garland Company R-mer Span structural panel for this project. From the information provided we believe that Garland's products, services and warranty best fits the needs of the THPRD HMT Aquatic Center re-roofing project.

Garland provides the only vented standing seam system that incorporates a vented ridge and eave. Installation includes 3/8" clearance between the panels and substrate which provides ventilation and reduces potential for condensation. Ventilation is a valuable component particularly above a natatorium where vapor drive plays a significant role in performance of the building envelope.

The R-mer Span panels are symmetrical so single panels can be removed without damaging adjacent panels. The standing seam panel has a taller vertical seam for long term leak protection and the system utilizes a continuous cleat with one piece 16 gauge clips that allow for thermal expansion and contraction. The 16 gauge clips are the most robust of the products submitted. The panels are joined through the use of a seam cap with a double bead of factory applied hot melt sealant. It is the only panel that can be un-seamed without disturbing the actual panel.

Garland's roofing system meets all weather testing requirements. The manufacturer provides project specific engineering with engineers on staff and in Oregon. They provide detailing specific to the project, perform weekly inspections and progress reporting and assist with contractor recommendations, assistance, bid qualifications and project close out as a basic service.

Garland has a historical track record of successful large scale standing seam roof installations. Garland will also issue a 30 year no door limit warranty.

Garland's R-mer Span assembly, service oriented delivery, market history and warranty set it apart from the other submittals.



**Tualatin Hills Park & Recreation District
Minutes of a Regular Meeting of the Board of Directors**

A regular meeting of the Tualatin Hills Park & Recreation District Board of Directors was held on Monday, November 2, 2015, at the HMT Recreation Complex, Dryland Training Center, 15707 SW Walker Road, Beaverton. Executive Session 6 pm; Regular Meeting 7 pm.

Present:

Larry Pelatt	President/Director
Jerry Jones Jr.	Secretary/Director
John Griffiths	Secretary Pro-Tempore/Director
Ali Kavarianian	Director
Bob Scott	Director
Doug Menke	General Manager

Agenda Item #1 – Executive Session (A) Legal (B) Land

Secretary Jones called executive session to order for the following purposes:

- To consult with counsel concerning the legal rights and duties of a public body with regard to current litigation or litigation likely to be filed, and
- To conduct deliberations with persons designated by the governing body to negotiate real property transactions.

Executive session is held pursuant to ORS 192.660(2)(e) & (h), which allows the board to meet in executive session to discuss the aforementioned issues.

Secretary Jones noted that representatives of the news media and designated staff may attend the executive session. All other members of the audience were asked to leave the room. Representatives of the news media were specifically directed not to disclose information discussed during executive session. No final action or final decision may be made in executive session. At the end of executive session, the board will return to open session and welcome the audience back into the room.

Agenda Item #2 – Call Regular Meeting to Order

President Pelatt called the regular meeting to order at 7:05 pm.

Agenda Item #3 – Action Resulting from Executive Session

Bob Scott moved that the board of directors authorize staff to acquire a property in the northwest quadrant of the district for \$438,900.81, using system development charge funds, subject to standard due diligence review and approval by the general manager. Ali Kavarianian seconded the motion.

Jerry Jones Jr. declared a potential conflict of interest for this motion due to his construction firm having completed work under contract for the property owner.

Roll call proceeded as follows:

Jerry Jones Jr. Yes
Ali Kavianian Yes
Bob Scott Yes
Larry Pelatt Yes

The motion was **UNANIMOUSLY APPROVED**.

Bob Scott moved that the board of directors authorize staff to grant a new permanent access easement in the southeast quadrant of the district, subject to appropriate due diligence review and approval by the general manager. Jerry Jones Jr. seconded the motion. Roll call proceeded as follows:

Ali Kavianian Yes
Jerry Jones Jr. Yes
Bob Scott Yes
Larry Pelatt Yes

The motion was **UNANIMOUSLY APPROVED**.

Jerry Jones Jr. moved that the board of directors authorize staff to acquire a property in the northwest quadrant of the district, using system development charge funds, subject to standard due diligence review, including inspections, appraisal review and survey, and approval by the general manager. Bob Scott seconded the motion. Roll call proceeded as follows:

Ali Kavianian Yes
Bob Scott Yes
Jerry Jones Jr. Yes
Larry Pelatt Yes

The motion was **UNANIMOUSLY APPROVED**.

Jerry Jones Jr. moved that, pursuant to the Request for Proposals for the Sale of North Bethany Development Parcels dated October 5, 2015, the board of directors authorize staff to award the sale of the subject properties to Polygon Northwest Company and authorize the general manager to enter into a purchase and sale agreement consistent with the terms of the proposal dated October 22, 2015. Ali Kavianian seconded the motion. Roll call proceeded as follows:

Bob Scott Yes
Ali Kavianian Yes
Jerry Jones Jr. Yes
Larry Pelatt Yes

The motion was **UNANIMOUSLY APPROVED**.

Agenda Item #4 – Audience Time

There was no public testimony during audience time.

Agenda Item #5 – Board Time

President Pelatt recalled the recent rainstorm's impact on the Fanno Creek Trail tunnel under Scholls Ferry Road, which experienced significant flooding.

Agenda Item #6 – Consent Agenda

Bob Scott moved that the board of directors approve consent agenda items (A) Minutes of October 5, 2015 Regular Board Meeting, (B) Monthly Bills, (C) Monthly Financial Statement, and (D) HMT Aquatic Center Renovation Consultant Contract. Jerry Jones Jr. seconded the motion. Roll call proceeded as follows:

Ali Kavianian **Yes**
Jerry Jones Jr. **Yes**
Bob Scott **Yes**
Larry Pelatt **Yes**

The motion was UNANIMOUSLY APPROVED.

Agenda Item #7 – Unfinished Business

A. Synthetic Turf Infill

General Manager Doug Menke introduced Gery Keck, facilities & project manager, to present research compiled on the different types of infill available for use with synthetic turf fields. Doug noted that district staff would need a decision from the board by January in regard to which infill material is preferable in order to inform the specifications for the construction of the district's next synthetic turf fields.

Gery provided a detailed overview of the memo included within the board of directors' information packet focusing on the following three topic areas: the different types of infill material available for use with synthetic turf fields, including cost, composition and compatibility; reported health concerns stemming from the use of crumb rubber infill; and reported environmental concerns stemming from the use of crumb rubber infill. In the studies reviewed by staff, there was no conclusive evidence identified that crumb rubber has any elevated health concern for participants playing on a synthetic turf field. However, staff did find evidence stating that crumb rubber has the potential to leachate zinc into local stormwater runoff, but it can be reduced with the use of stormwater treatment measures. Clean Water Services already requires all newly developed synthetic turf fields to include a stormwater treatment facility. Gery concluded his presentation by noting that although no formal board action is requested this evening, two projects that include synthetic turf installation will go to bid this spring and staff requests board guidance on whether to continue to specify crumb rubber as a component of the infill material. Gery offered to answer any questions the board may have.

Jerry Jones Jr. referenced research he conducted on this topic, copies of which would be distributed to the board, noting that much of it relates to the use of recycled tires and the chemicals that get onto the tires throughout their useful lives being on vehicles. He called out speculation that there is an increased cancer risk to those who use fields that have crumb rubber infill, noting that although the research may be somewhat inconclusive, he would rather the district choose the cleaner product if one is available. He described how the infill material gets inhaled by players, as well as into clothing, maintaining contact with a person's skin much longer than just during play. However, there is a cleaner product available and it is only about a 3% cost difference. He noted that this would not be the first time the district has chosen to provide a cleaner product, and provided examples of sustainability practices. He encouraged the board members to review the research he has compiled.

Ali Kavianian commented that if it is only an incremental cost increase to provide a cleaner product, he would support it.

Bob Scott expressed agreement with Jerry and Ali's comments. He asked what type of water treatment facility is required in order to reduce the zinc contamination.

- ✓ Gery replied it is a retention pond or bioswale, such as what the district is required to provide anyway.

President Pelatt questioned the total carbon footprint in switching from crumb rubber infill, which is made of recycled used automobile tires, to a different material that may require more resources to be produced and may have a greater environmental impact.

- ✓ Jerry replied that Nike Grind is made from recycled shoe materials, the trimmings that are unused when a shoe is produced, so it is not a product that requires new resources, although the district is not limited to that specific brand.
- ✓ Gery noted that some of the other infill materials profiled are made with new resources, but that there are other options.
- ✓ Bob noted that he views the issue from a standpoint of health of the users versus potential environmental issues. He would rather err on the side of safety of the users, even if that meant using a product that requires new resources. He wants to ensure that there are no health consequences for whichever infill material is designated.

Larry explained that he is suggesting that any change in infill material be evaluated thoroughly from all angles. Nothing the district will do is without risk; it is a matter of finding what has the least risk overall.

- ✓ Jerry expressed agreement. He explained that different infill manufacturers will provide different methods of testing and that the district may wish to choose particular compounds that it does not want in the infill product it purchases.

Larry agreed that the infill material does tend to come home with the players based on his own experience.

- ✓ Jerry agreed and questioned the impact of crumb rubber against skin for extended amounts of time.

General Manager Doug Menke requested that board members contact him with any other questions that they might have within the next few weeks until this item can come back to the board for additional discussion and a decision.

B. General Manager's Report

General Manager Doug Menke provided an overview of his General Manager's Report included within the board of directors' information packet, including the following:

- Tennis Center & Aquatic Center Roof Projects Update & Timeline
 - Gery Keck, facilities & project manager, provided a PowerPoint presentation, a copy of which was entered into the record, regarding the recently completed Tennis Center Roof Project and upcoming Aquatic Center Roof Project.
- Southwest Quadrant Community Park Fundraising Campaign Update
 - Geoff Roach, director of Community Partnerships, provided a PowerPoint presentation, a copy of which was entered into the record, on the campaign to fund accessibility features at Southwest Quadrant Community Park.
- McMillan Park Local Government Grant Program Application
 - Aisha Panas, director of Park & Recreation Services, provided a PowerPoint presentation, a copy of which was entered into the record, regarding a grant recently received from Oregon Parks & Recreation Department's Local Government Grant Program in the amount of \$50,000 for relocation and replacement of play equipment at McMillan Park.
- Willow Creek Greenway Nature in Neighborhoods Grant Application
 - Aisha Panas, director of Park & Recreation Services, provided a PowerPoint presentation, a copy of which was entered into the record, regarding a grant recently received from Metro's Nature in Neighborhoods program in the amount of \$25,000 for improvements to the Willow Creek Greenway.
- Board of Directors Meeting Schedule
- System Development Charge Methodology Review Open House

Doug offered to answer any questions the board may have.

John Griffiths arrived at the meeting.

Jerry Jones Jr. commended Geoff and district staff for their efforts on the fundraising campaign for Southwest Quadrant Community Park. He noted that raising nearly \$1 million is an extraordinary accomplishment.

Agenda Item #8 – New Business

A. North Bethany Abbey Meadows Phase 1 Site Master Plan

Jeannine Rustad, superintendent of Planning, and Nicole Paulsen, Design & Development coordinator, provided an overview of the memo included within the board of directors' information packet regarding the first phase site master plan for North Bethany Abbey Meadows that is needed in order to move forward with entering into a System Development Charge (SDC) credit agreement with the site's developer, DR Horton. Jeannine provided an overview of the master plan, which included improvements such as play equipment, an asphalt pathway, and site furnishings via a PowerPoint presentation, a copy of which was entered into the record. Jeannine noted that the action requested this evening is board approval of the Abbey Meadows first phase site master plan and offered to answer any questions the board may have.

President Pelatt asked how much the developer is expected to pay in SDCs for their development.

- ✓ Jeannine replied \$2.6 million at today's SDC rates.
- ✓ Nicole noted that the estimated cost for the phase one project is \$120,000 which includes the play equipment and trail.

Larry asked for the approximate length of trail that would be constructed.

- ✓ Nicole replied approximately 100 feet.

Ali Kavianian moved that the board of directors approve the Abbey Meadows Phase 1 Site Master Plan as presented. Jerry Jones Jr. seconded the motion. Roll call proceeded as follows:

John Griffiths	Yes
Bob Scott	Yes
Jerry Jones Jr.	Yes
Ali Kavianian	Yes
Larry Pelatt	Yes

The motion was UNANIMOUSLY APPROVED.

Agenda Item #9 – Adjourn

There being no further business, the meeting was adjourned at 8 pm.

Larry Pelatt, President

Jerry Jones Jr., Secretary

Recording Secretary,
Jessica Collins

Check #	Check Date	Vendor Name	Check Amount
20402	10/14/2015	Community Newspapers, Inc. Advertising	1,166.00 \$ 1,166.00
288455	10/05/2015	Beynon Sports Surfaces, Inc Capital Outlay - Athletic Facility Replacement	47,499.05 \$ 47,499.05
288438	10/05/2015	Paul Brothers, Inc.	24,289.70
288547	10/15/2015	ACS Testing, Inc.	1,201.60
288550	10/15/2015	BBL Architects Capital Outlay - Bond - Facility Rehabilitation	6,626.34 \$ 32,117.64
288469	10/05/2015	LOI Environmental & Demolition Services	43,300.00
288521	10/09/2015	JOS Properties, Inc.	4,500.00
288645	10/23/2015	LOI Environmental & Demolition Services Capital Outlay - Bond - Land Acquisition	3,451.00 \$ 51,251.00
288562	10/15/2015	Kuznetsov Thinning Company	1,000.00
288623	10/23/2015	Ash Creek Forest Management, LLC	6,359.06
288624	10/23/2015	Beaverlake Nursery	6,275.00
288640	10/23/2015	Heritage Seedlings, Inc. Capital Outlay - Bond - Natural Resources Projects	2,198.98 \$ 15,833.04
288460	10/05/2015	David Evans & Associates, Inc.	31,360.69
ACH	10/07/2015	MacKay Sposito, Inc.	4,862.08
288630	10/23/2015	David Evans & Associates, Inc. Capital Outlay - Bond - New Community Park Development	25,036.88 \$ 61,259.65
288665	10/23/2015	Washington County Capital Outlay - Bond - New Linear Park & Trail Development	1,921.86 \$ 1,921.86
20159	10/14/2015	Northwest Tree Specialists	3,400.00
288625	10/23/2015	City of Beaverton	4,500.00
288666	10/23/2015	Washington County Capital Outlay - Bond - Renovate & Redevelop Neighborhood Parks	2,908.56 \$ 10,808.56
288548	10/15/2015	AKS Engineering & Forestry, LLC Capital Outlay - Bond - Youth Athletic Field Development	3,102.75 \$ 3,102.75
19784	10/14/2015	Building Material Specialties, Inc.	3,057.00
20105	10/14/2015	Harris Work Systems	1,113.80
20251	10/14/2015	Meshier Supply Co.	1,000.00
20261	10/14/2015	Southern Aluminum Manufacturing, Inc. Capital Outlay - Building Replacements	3,455.00 \$ 8,625.80
288565	10/15/2015	Lyda Excavating, Inc.	47,500.00
288571	10/15/2015	OP SIS Architecture, LLP	2,842.90
288638	10/23/2015	Greg Schroeder Enterprises, Inc. Capital Outlay - Carryover Projects	29,375.50 \$ 79,718.40
19749	10/14/2015	Most Dependable Fountains Capital Outlay - Facility Challenge Grants	4,100.00 \$ 4,100.00
288643	10/23/2015	Kubota Tractor Corporation Capital Outlay - Fleet Capital Replacement	75,583.02 \$ 75,583.02
288553	10/15/2015	CDW Government, Inc. Capital Outlay - Information Technology Replacement	4,610.20 \$ 4,610.20
288629	10/23/2015	Clean Water Services Capital Outlay - Park & Trail Improvements	9,142.80 \$ 9,142.80

Check #	Check Date	Vendor Name	Check Amount
288468	10/05/2015	Lacey Construction	1,300.00
19769	10/14/2015	Ross Recreation Equipment Company, Inc.	3,743.50
20157	10/14/2015	Step Forward Activities, Inc.	9,800.00
		Capital Outlay - Park & Trail Replacements	\$ 14,843.50
288535	10/09/2015	Lawyers Title Insurance Corporation	20,000.00
		Capital Outlay - SDC - Land Acquisition (FY 15)	\$ 20,000.00
288452	10/05/2015	Appraisal & Consulting Group, LLC	4,000.00
288710	10/30/2015	Lawyers Title Insurance Corporation	20,000.00
		Capital Outlay - SDC - Land Acquisition New Urban Areas	\$ 24,000.00
288649	10/23/2015	Moscato, Ofner & Henningsen Inc	3,100.00
		Capital Outlay - SDC - Other Land Acquisition (FY 16)	\$ 3,100.00
ACH	10/02/2015	Douglas R. Menke	1,213.82
288458	10/05/2015	Centro Cultural of Wash. Co.	1,000.00
288478	10/07/2015	Catherine Ellis	1,126.81
ACH	10/15/2015	Marilou Caganap	1,157.77
ACH	10/23/2015	Douglas R. Menke	1,551.42
ACH	10/23/2015	John Griffiths	1,174.07
		Conferences	\$ 7,223.89
20474	10/14/2015	Fund Your Park	5,000.00
20496	10/14/2015	Fund Your Park	2,000.00
		Due from THPF	\$ 7,000.00
19591	10/14/2015	DAS State Procurement Office	2,000.00
		Dues & Memberships	\$ 2,000.00
288429	10/02/2015	PGE	29,806.22
288596	10/15/2015	PGE	6,276.27
288676	10/27/2015	PGE	1,867.08
288677	10/27/2015	PGE	5,860.44
		Electricity	\$ 43,810.01
288437	10/05/2015	PacificSource Administrators, Inc.	3,766.02
288587	10/15/2015	Standard Insurance Company	194,402.46
288709	10/30/2015	Kaiser Foundation Health Plan	244,273.41
288711	10/30/2015	Moda Health Plan, Inc.	29,233.52
288714	10/30/2015	Standard Insurance Co.	13,543.94
288720	10/30/2015	UNUM Life Insurance-LTC	1,370.60
		Employee Benefits	\$ 486,589.95
288586	10/15/2015	PacificSource Administrators, Inc.	3,978.81
288588	10/15/2015	Standard Insurance Company	32,785.13
288589	10/15/2015	Standard Insurance Company	2,146.75
288592	10/15/2015	Voya Retirement Insurance & Annuity Co.	8,162.50
288713	10/30/2015	PacificSource Administrators, Inc.	5,164.81
288715	10/30/2015	Standard Insurance Company	33,858.99
288716	10/30/2015	Standard Insurance Company	2,146.75
288719	10/30/2015	THPRD - Employee Assn.	14,673.54
288722	10/30/2015	Voya Retirement Insurance & Annuity Co.	8,162.50
		Employee Deductions	\$ 111,079.78
288428	10/02/2015	NW Natural	2,900.42
288675	10/27/2015	NW Natural	8,147.08
		Heat	\$ 11,047.50

Check #	Check Date	Vendor Name	Check Amount
19526	10/14/2015	United Site Services	7,849.66
19539	10/14/2015	Speedy Septic Service	1,690.00
20040	10/14/2015	Guaranteed Pest Control Service Co, Inc.	1,626.00
288557	10/15/2015	The Farley Group, Inc.	13,854.66
288561	10/15/2015	Keizer Outdoor Power Equipment	9,629.73
288634	10/23/2015	Elevator Solutions, Inc.	1,000.00
288635	10/23/2015	ET Burner & Boiler Service, Inc.	1,972.00
288642	10/23/2015	Interlocked Filtration Systems, LLC.	2,375.00
		Maintenance Services	\$ 39,997.05
19548	10/14/2015	Walter E. Nelson Company	1,267.35
19578	10/14/2015	Coastwide Laboratories	8,472.86
19614	10/14/2015	Airgas Nor Pac, Inc.	6,884.87
19937	10/14/2015	Meshier Supply Co.	1,274.04
19949	10/14/2015	Pioneer Manufacturing Co.	1,774.50
20123	10/14/2015	Airgas Nor Pac, Inc.	4,748.64
20191	10/14/2015	Target Specialty Products	2,314.26
20201	10/14/2015	Coastwide Laboratories	3,724.54
20318	10/14/2015	Coastwide Laboratories	1,741.90
20426	10/14/2015	Airgas Nor Pac, Inc.	1,065.02
20442	10/14/2015	Ewing Irrigation Products, Inc.	4,599.00
20456	10/14/2015	Pioneer Manufacturing Co.	3,549.00
20497	10/14/2015	Coastwide Laboratories	2,308.64
20499	10/14/2015	Target Specialty Products	14,452.40
288558	10/15/2015	Fazio Brothers Sand & Gravel	7,263.62
288559	10/15/2015	Home Depot Credit Services	1,023.31
ACH	10/15/2015	ORCA Pacific, Inc.	1,208.45
288624	10/23/2015	Beaverlake Nursery	5,100.00
		Maintenance Supplies	\$ 72,772.40
19523	10/14/2015	OfficeMax Incorporated	1,275.19
19524	10/14/2015	OfficeMax Incorporated	1,105.45
19525	10/14/2015	Ricoh Americas Corporation	1,521.20
		Office Supplies	\$ 3,901.84
288663	10/23/2015	US Postal Service CMRS-PB	3,000.00
		Postage	\$ 3,000.00
19667	10/14/2015	GISI Marketing Group	1,694.00
20472	10/14/2015	ePrint	1,070.28
		Printing & Publication	\$ 2,764.28
288462	10/05/2015	FCS Group	6,104.05
288569	10/15/2015	Mark Sherman Consultants	1,086.00
288570	10/15/2015	MIG, Inc.	43,733.58
288646	10/23/2015	Mersereau & Shannon, LLP	5,750.00
ACH	10/23/2015	Beery, Elsnor & Hammond, LLP	4,676.60
ACH	10/23/2015	Smith Dawson & Andrews	3,000.00
		Professional Services	\$ 64,350.23
288457	10/05/2015	Capital One Commercial	1,235.28
19828	10/14/2015	Kore Group	1,802.72
19945	10/14/2015	Kore Group	2,256.80
20418	10/14/2015	American Red Cross Health & Safety Services	1,336.00
288575	10/15/2015	Penhollow Promotions, LLC	1,897.70
288577	10/15/2015	Play-well TEKologies	5,967.00
288651	10/23/2015	Oregon Department of Administrative Service OPS	1,580.77
20522	10/30/2015	Comcast Cable	1,072.84
		Program Supplies	\$ 17,149.11

Check #	Check Date	Vendor Name	Check Amount
20526	10/30/2015	Waste Management of Oregon Refuse Services	<u>7,993.57</u> \$ 7,993.57
ACH	10/07/2015	Northwest Techrep, Inc.	15,647.75
20458	10/14/2015	Screen Magic	1,647.15
288556	10/15/2015	Facilitation & Process, LLC	3,370.00
288633	10/23/2015	Edwards Enterprises Technical Services	<u>1,944.80</u> \$ 22,609.70
288674	10/27/2015	Integra Telecom Telecommunications	<u>4,730.84</u> \$ 4,730.84
288582	10/15/2015	THP Foundation THPF Reimbursed Concessions/Sales	<u>3,117.18</u> \$ 3,117.18
ACH	10/07/2015	Marc Nelson Oil Products, Inc.	2,407.36
288661	10/23/2015	Tualatin Valley Water District	9,827.53
ACH	10/23/2015	Marc Nelson Oil Products, Inc. Vehicle Gas & Oil	<u>3,599.62</u> \$ 15,834.51
288430	10/02/2015	Tualatin Valley Water District	3,137.37
288599	10/15/2015	Tualatin Valley Water District	27,793.30
20520	10/30/2015	City of Beaverton	6,279.45
20521	10/30/2015	Clean Water Services	2,592.34
20525	10/30/2015	Tualatin Valley Water District Water & Sewer	<u>31,873.64</u> \$ 71,676.10
Report Total			<u><u>\$ 1,467,331.21</u></u>

Tualatin Hills Park & Recreation District

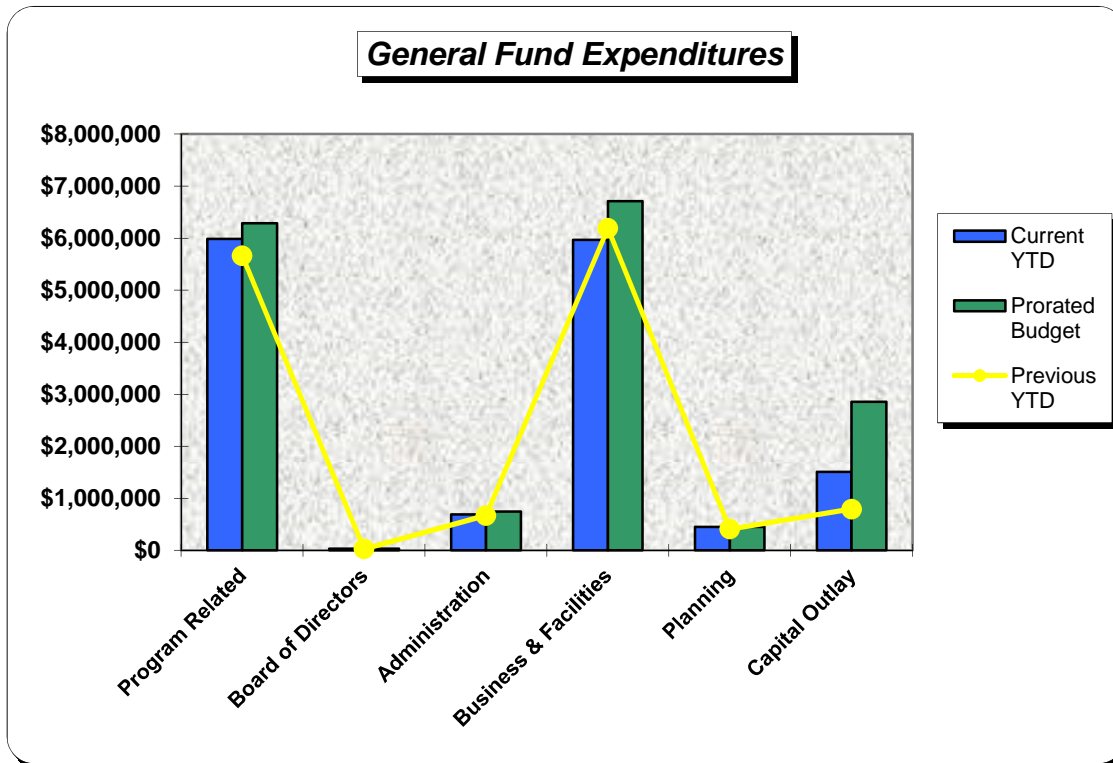
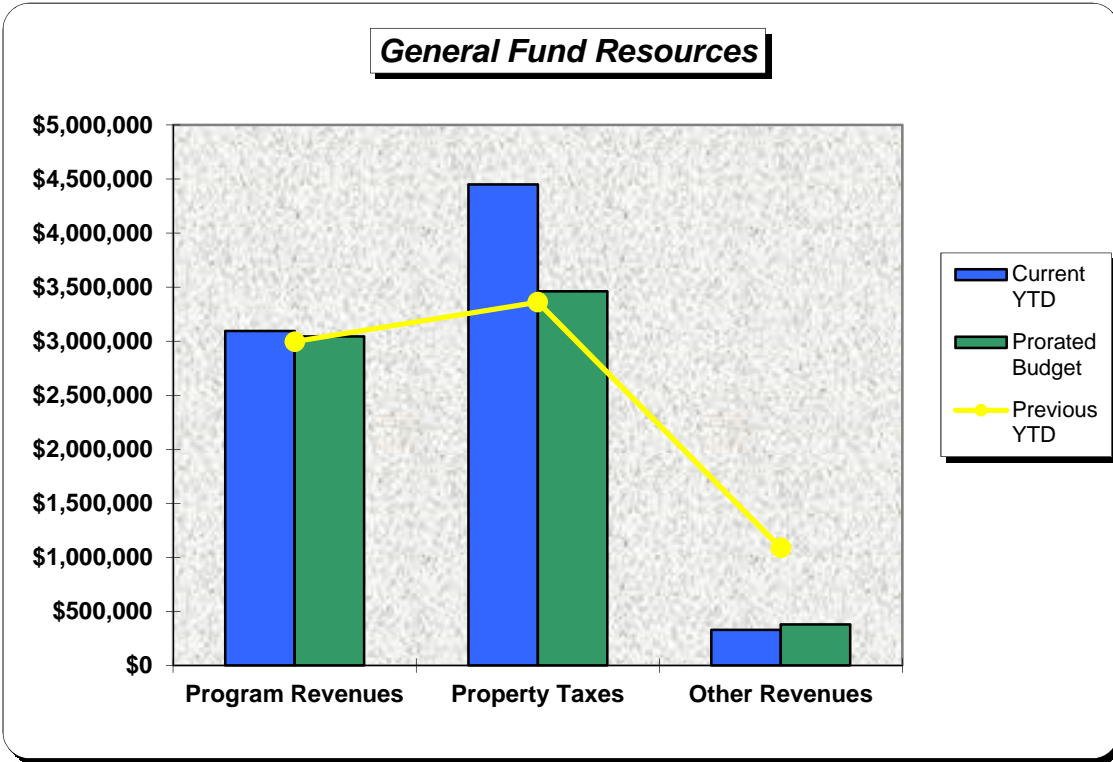
General Fund Financial Summary
October, 2015

	Current Month	Year to Date	Prorated Budget	% YTD to Prorated Budget	Full Fiscal Year Budget
Program Resources:					
Aquatic Centers	\$ 137,605	\$ 903,149	\$ 873,175	103.4%	\$ 2,899,023
Tennis Center	68,977	271,899	282,362	96.3%	1,055,081
Recreation Centers & Programs	171,830	1,414,812	1,497,148	94.5%	5,104,267
Sports Programs & Field Rentals	120,373	409,956	314,398	130.4%	1,279,734
Natural Resources	18,877	95,602	77,496	123.4%	362,215
Total Program Resources	517,662	3,095,418	3,044,578	101.7%	10,700,320
Other Resources:					
Property Taxes	4,404,281	4,452,013	3,461,048	128.6%	27,745,905
Interest Income	2,526	15,540	14,788	105.1%	135,000
Facility Rentals/Sponsorships	54,077	174,447	193,712	90.1%	560,000
Grants	2,000	10,930	10,930	100.0%	626,458
Miscellaneous Income	22,801	128,856	161,116	80.0%	581,407
Total Other Resources	4,485,685	4,781,786	3,841,594	124.5%	29,648,770
Total Resources	\$ 5,003,347	\$ 7,877,204	\$ 6,886,172	114.4%	\$40,349,090
Program Related Expenditures:					
Parks & Recreation Administration	138,127	352,289	264,342	133.3%	835,083
Aquatic Centers	296,706	1,437,798	1,541,403	93.3%	4,094,063
Tennis Center	88,950	359,007	370,107	97.0%	1,075,276
Recreation Centers	354,169	1,891,476	2,082,131	90.8%	5,089,363
Programs & Special Activities	108,673	735,729	706,283	104.2%	1,607,944
Athletic Center & Sports Programs	120,817	548,096	624,959	87.7%	1,848,972
Natural Resources & Trails	129,397	661,359	699,447	94.6%	1,887,563
Total Program Related Expenditures	1,236,839	5,985,754	6,288,671	95.2%	16,438,264
General Government Expenditures:					
Board of Directors	9,265	29,997	33,932	88.4%	236,900
Administration	148,935	693,156	745,371	93.0%	2,242,238
Business & Facilities	1,450,450	5,967,271	6,711,717	88.9%	18,236,151
Planning	102,816	449,359	448,835	100.1%	1,337,057
Capital Outlay	466,689	1,511,134	2,853,382	53.0%	6,444,551
Contingency/Capital Replacement Reserve	-	-	-	0.0%	3,150,000
Total Other Expenditures:	2,178,155	8,650,917	10,793,235	80.2%	31,646,897
Total Expenditures	\$ 3,414,994	\$14,636,671	\$ 17,081,907	85.7%	\$48,085,161
Revenues over (under) Expenditures	\$ 1,588,353	\$ (6,759,467)	\$ (10,195,735)	66.3%	\$ (7,736,071)
Beginning Cash on Hand		8,437,058	7,736,071	109.1%	7,736,071
Ending Cash on Hand		\$ 1,677,591	\$ (2,459,664)	-68.2%	\$ -

Tualatin Hills Park and Recreation District

General Fund Financial Summary

October, 2015





MEMO

DATE: November 25, 2015
TO: Doug Menke, General Manager
FROM: Keith Hobson, Director of Business & Facilities

RE: Harman Swim Center Renovation Construction Contract

Introduction

Staff request board of directors' approval of the lowest responsible bid for the Harman Swim Center Renovation Construction Contract and authorization for staff to execute a contract with Cedar Mill Construction for the amount of \$281,700.

Background

The board of directors approved funding for the Harman Swim Center restoration project in the FY 2015/16 budget in the amount of \$345,000. The total project budget consists of an available construction budget of \$306,000, contingency in the amount of \$19,000 and soft costs in the amount of \$20,000. Staff have worked with our consultant team, led by Peterson Structural Engineering, to complete the construction documentation and bidding process. This project may require a plumbing permit through the city and will be obtained by the contractor.

On November 9, 2015, the project bid was advertised and the bid opening occurred on November 24, 2015. A total of two bids were received and the lowest responsible bidder was Cedar Mill Construction who submitted a bid for the base bid and all three alternates of \$281,700.

Proposal Request

Staff recommend moving forward with the base bid as well as alternates #1, #2 and #3 for a total contract amount of \$281,700 to Cedar Mill Construction. The base bid, three alternates and project soft costs combined are within the project budget. Based on the bid results, the project is \$24,300 below budget with potential additional savings from the contingency.

Construction is scheduled to begin December 14, 2015 with completion being no later than February 5, 2016.

The project will include resurfacing of the pool tank with an epoxy quartz coating that is estimated to last 10 years. In addition, the pool gutter trough will be cut off, rebuilt and retiled. The pool deck and all dressing room floors will be recoated with a colored non-skid epoxy based product. With the competitive base bid, staff are also recommending including alternates #1, #2 and #3 in the construction contract.

- Alternate #1 includes adding three floor drains in the hallway adjacent to the family restrooms and staff changing rooms, demo the tile floor in those same rooms and resurface with the same non-skid epoxy coating as the pool deck and dressing rooms. The bid cost for this alternate is \$18,700.

- Alternate #2 includes resurfacing the lobby spectator restroom floors with the same non-skid epoxy coating as the pool deck and dressing rooms. The bid cost for this alternate is \$2,600.
- Alternate #3 includes removing the plastic kemlite panels, as well as the original tile, on each of the dressing room shower wall areas and retiling. The bid cost for this alternate is \$23,800.

By performing these alternates within this contract, we take advantage of the center's closure period and eliminate the need to close the facility down in the future to complete these items. The alternates will give the floors a fresh, seamless look as well as a safer surface for patrons and staff. In addition, we give our patrons a more inviting space to shower that is updated and consistent with the highest district standards. These alternates will not add any length of time to the closure.

Staff are seeking board of directors' approval to award the contract for the base bid plus all three alternates based on the lowest responsible bid for the project.

Benefits of Proposal

Approval of this contract will provide the renovation of key elements within the Harman Swim Center that have met their life expectancy and allow the work to occur during the planned facility closure period. Awarding the contract will also bring the project in below the budgeted amount.

Potential Downside of Proposal

There are no apparent downsides to this proposal.

Action Requested

Board of directors' approval to award a contract to Cedar Mill Construction and authorization for the general manager or his designee to execute the contract for the Harman Swim Center Renovation Construction.

**Tualatin Hills Park & Recreation District
PROJECT AWARD RECOMMENDATION REPORT**

Project:	Harman Swim Center Renovation	
Contractor:	<u>Cedar Mill Construction</u>	
SCOPE OF WORK		
Location:	Harman Swim Center	
Description:	Resurface pool tank, Replace pool gutter & Resurface pool deck & dressing room floor surface	
FUNDING SOURCE		
Funding Sources:	Amount:	Page:
2015/16 Capital fund request	\$345,000	CIP - 3
Total Project Funding	\$345,000	
PROPOSALS RECEIVED		

Low to High Bid	Contractor:	Base Bid Amt.:	Total Bid Amt w/ Alternates:	Contractor worked for THPRD previously?	Contractor references checked?	Contractor registered w/ Appropriate Boards?
1	Cedar Mill Construction	\$236,900	\$281,700	Yes	Yes	Yes
2	2KG contractors	\$226,900	\$282,600	Yes	Yes	Yes



MEMO

DATE: November 12, 2015
TO: Doug Menke, General Manager
FROM: Keith Hobson, Director of Business & Facilities

RE: Resolution Appointing Audit Committee Member

Introduction

Staff requests board of directors' appointment of one audit committee member and approval of the attached resolution making the appointment.

Background

The district audit committee was authorized by Resolution No. 2008-04 at the April 7, 2008 board of directors meeting and consists of three members of the public. The primary responsibilities of the audit committee include periodically forming a recommendation regarding the selection of the park district's independent auditors, review of the annual audit plan, monitoring progress and compliance, participating in an audit exit conference, presentation of the audit report to the board of directors, and post audit follow-up. Membership for the committee is drawn from the board of directors (1), the district's budget committee (1), and the general public (1).

Board member Bob Scott currently fulfills the board position and Shannon Kennedy fulfills the budget committee position. Kathleen Leader currently fulfills the public position on the committee, but her term expires on December 31, 2015. She has agreed to continue fulfilling the public position on this committee and requests reappointment for a period of two years. Please find her application attached, as well as the current committee roster.

Proposal Request

Staff requests board of directors' reappointment of Kathleen Leader to the district's audit committee, per the attached resolution, for a term of two years.

Action Requested

Board of directors' approval of Resolution No. 2015-17, Appointing Audit Committee Member.

RESOLUTION 2015-17
TUALATIN HILLS PARK & RECREATION DISTRICT, OREGON

**A RESOLUTION APPOINTING
AUDIT COMMITTEE MEMBER**

WHEREAS, the Tualatin Hills Park & Recreation District Board of Directors must appoint committee members by resolution; and

WHEREAS, each committee member shall be appointed by the Board for a term expiring on December 31, 2017; and

WHEREAS, the selected committee member has demonstrated their interest and knowledge in the Committee's area of responsibility. Now, therefore

THE TUALATIN HILLS PARK & RECREATION DISTRICT RESOLVES AS FOLLOWS:

The Board of Directors approves the appointment of Kathleen Leader to the Audit Committee.

Duly passed by the Board of Directors of the Tualatin Hills Park & Recreation District this 7th day of December 2015.

Larry Pelatt, Board President

Jerry Jones Jr., Board Secretary

ATTEST:

Jessica Collins
Recording Secretary



TUALATIN HILLS PARK & RECREATION DISTRICT ADVISORY COMMITTEE APPLICATION

Name: Kathleen Leader		Date: 11/16/15	
Address:		City:	Zip:
Home Phone:	Cell:	Work Phone:	
Email:			

Please note you must reside within the Park District's boundaries and complete a background check in order to serve on the Audit Committee.

1. Please explain your interest in serving on the Audit Committee:

I believe that my career in financial management provides me with skills, knowledge and experience that would benefit the District.

I value the mission, services and recreation facilities provided by Tualatin Hills Park & Recreation District, and believe that my knowledge and experience will foster the continuation and growth of District services in the community.

2. How long have you lived in the community?

I have lived in Cedar Hills over 12 years.

3. Have you served on other volunteer committees? Yes No

If yes, please explain where, when, and what your responsibilities were:

I currently serve as a Board Member for Oregon Municipal Finance Officers Association (OMFOA), guiding the mission and planning conferences and events for the organization.

I am currently the Treasurer for Forest Hills Village Homeowners Association. I have held this position for over 11 years. I am responsible for billing and collection of annual assessments, payment of bills monthly, preparation of the annual budget and monthly/annual financial statements, preparation of annual tax statements, banking and investment functions. I participate as a member of the Board developing and enforcing bylaws, covenants and restrictions, and guidelines, responding to homeowner concerns, and addressing the needs of the Association.

I was a Board Member for Neighbor Health Clinics, a non-profit organization providing medical and dental services to indigent and uninsured individuals in North and South East Portland, from 1999 through 2002. I provided governance and direction for the operations and policies of the non-profit organization and assisted in fund raising opportunities

4. Have you or your family participated in any Center or other Recreation District activities?

What: Pilates Class

When: Eight years ago

Where: Cedar Hills Recreation Center

I also jog at least twice a week through the Commonwealth Park and enjoy the lake, scenery and people. In early 1990 I volunteered as a swimming coach for the Special Olympics, and practices and events were held at the District's pool facility on Walker Road.

5. If employed, what is your occupation?

Finance Manager with Clean Water Services

TUALATIN HILLS PARK & RECREATION DISTRICT ADVISORY COMMITTEE APPLICATION

6. Please describe any work experience or areas of expertise that you feel would benefit the Audit Committee:

I have over 17 years in financial management and reporting experience, including 12 years in the local government sector.

My work experience as the Finance Manager with Clean Water Services and Finance Director for the City of Troutdale, City of Wood Village and Holgate Center includes:

- Develop and administer policies and procedures for accounting, financial management, financial information system administration, banking and investment services, purchasing, auditing, budget, utility billing, debt administration, financial reporting, internal controls and property/liability risk management.
- Ensure compliance with generally accepted accounting standards and federal, state and local laws and regulations affecting fiscal activities and related operations.
- Prepare and oversee preparation of the Comprehensive Annual Financial Report.
- Serve as primary liaison with the independent auditors in developing the audit scope and responding to auditor's findings and recommendations.
- Direct the development of strategic plans for financial activities and prepare financial forecasts and models for resource and expenditure issues to ensure that long term financial management objectives are met.
- Acting Budget Officer, direct development of the annual budget, establish and monitor budgetary controls, and ensure compliance with Local Budget Law.

Audit Committee Information

Term Expires

Members:

Bob Scott, Board of Directors

December 31, 2016

Shannon Kennedy, Budget Committee

December 31, 2016

Kathleen Leader

December 31, 2015

Staff:

Heidi Starks

Deputy Chief Administrative Officer

503-645-6433

hstarks@thprd.org

Audit Firm:

Talbot, Korvola & Warwick, LLP

4800 Meadows Road, Suite 200

Lake Oswego, OR 97035-4293

www.tkw.com



MEMO

DATE: November 20, 2015
TO: Doug Menke, General Manager
FROM: Keith Hobson, Director of Business & Facilities

RE: **Resolution Authorizing Application for the 2016 Veterans and War Memorials Grant Program for Relocation of Vietnam War Memorial**

Introduction

The Oregon Parks and Recreation Department (OPRD) is accepting applications for the 2016 Veterans and War Memorials (VWM) grant program. Applications are due by December 15. Staff recommends that the district submit an application on behalf of the American Legion Post #124 (Post) to relocate a Vietnam War Memorial at Veterans Memorial Park. Staff requests board of directors' approval of Resolution No. 2015-18, authorizing staff to apply for this grant assistance.

Background

The VWM program provides funding for construction of new or restoration of existing veterans and war memorials. Relocation of memorials is also eligible for funding consideration. VWM grants require a 20% match in funding from the project sponsoring agency. For this project, the Post is providing the funds necessary to meet match requirements and the district will not need to provide financial support to complete the project.

In summer 2015, the Post contacted district staff about the restoration and relocation of a Vietnam War memorial from the Elks Lodge located at 3500 SW 104th Avenue to Veterans Memorial Park. The relocation of this memorial is consistent with the site master plan for Veterans Memorial Park approved by the board of directors in May 2013 (attached). The Post identified the VWM grant and requested THPRD submit an application on its behalf because only governmental agencies and special districts are eligible to apply. The Post will prepare the application and provide all necessary supporting documents. Staff will complete the application process by providing technical support in the creation of maps/exhibits needed with the application, reviewing the application and uploading information to the online application website. Staff has identified this project as a strong candidate for VWM grant assistance with minimal effort from staff.

Proposal Request

Grant assistance is being sought to help pay the costs associated with the restoration and relocation of a Vietnam War memorial to Veterans Memorial Park. Grant funds would be used to assist the Post in its efforts, including design/engineering, permitting and installation. The estimated budget for this project includes both estimated restoration and relocation costs and a 10% contingency. This project will be completed by summer 2017.

Total estimated cost for this project is \$123,500. Staff intends to submit a grant application on behalf of the Post for \$35,000, which is 28% of the total estimated project cost. The Post will provide the remaining estimated project funds, which it has secured through an aggressive fundraising effort. The district will have no financial responsibility for the project.

Benefits of Proposal

With a successful grant application, the district will be the benefactor of new memorial in Veterans Memorial Park and will have strengthened its partnership with the Post.

Potential Downside of Proposal

There is no potential downside to this proposal.

Maintenance Impact

There is no added maintenance impact resulting from this proposal because the park is already served and included in annual maintenance costs. The Post will be responsible for maintaining the new war memorial per an approved agreement with the district.

Action Requested

Board of directors' approval and signature of Resolution No. 2015-18 to apply for a 2016 Veterans and War Memorial (VWM) grant on behalf of the American Legion Post #124 for the relocation of a Vietnam War memorial at Veterans Memorial Park.

RESOLUTION NO. 2015-18

A RESOLUTION OF THE BOARD OF DIRECTORS OF THE TUALATIN HILLS PARK & RECREATION DISTRICT AUTHORIZING APPLICATION TO THE OREGON PARKS AND RECREATION DEPARTMENT FOR THE 2016 VETERANS AND WAR MEMORIALS GRANT PROGRAM FOR RELOCATION OF A VIETNAM WAR MEMORIAL AT VETERANS MEMORIAL PARK

WHEREAS, state funds are available through the Oregon Parks and Recreation Department (OPRD) for the Veterans and War Memorial (VWM) Grant Program for war memorial projects; and

WHEREAS, the Tualatin Hills Park & Recreation District (THPRD) is a special service district that is eligible to receive said state grant funds; and

WHEREAS, THPRD, in partnership with the American Legion Post #124, has identified the relocation of a Vietnam War memorial to Veterans Memorial Park as high priority for the district; and

WHEREAS, THPRD has agreed to submit the grant application on behalf of the American Legion Post #124; and

WHEREAS, THPRD will provide adequate funding for ongoing operations and maintenance of this park and recreation facility should the grant funds be awarded; and

LET IT HEREBY BE RESOLVED BY THE BOARD OF DIRECTORS OF THE TUALATIN HILLS PARK & RECREATION DISTRICT IN BEAVERTON, OREGON, that:

Section 1: The board of directors demonstrates its support for and authorizes staff to submit a grant application to OPRD for a Vietnam War memorial at Veterans Memorial Park.

Section 2: This resolution shall be effective following its adoption by the board of directors.

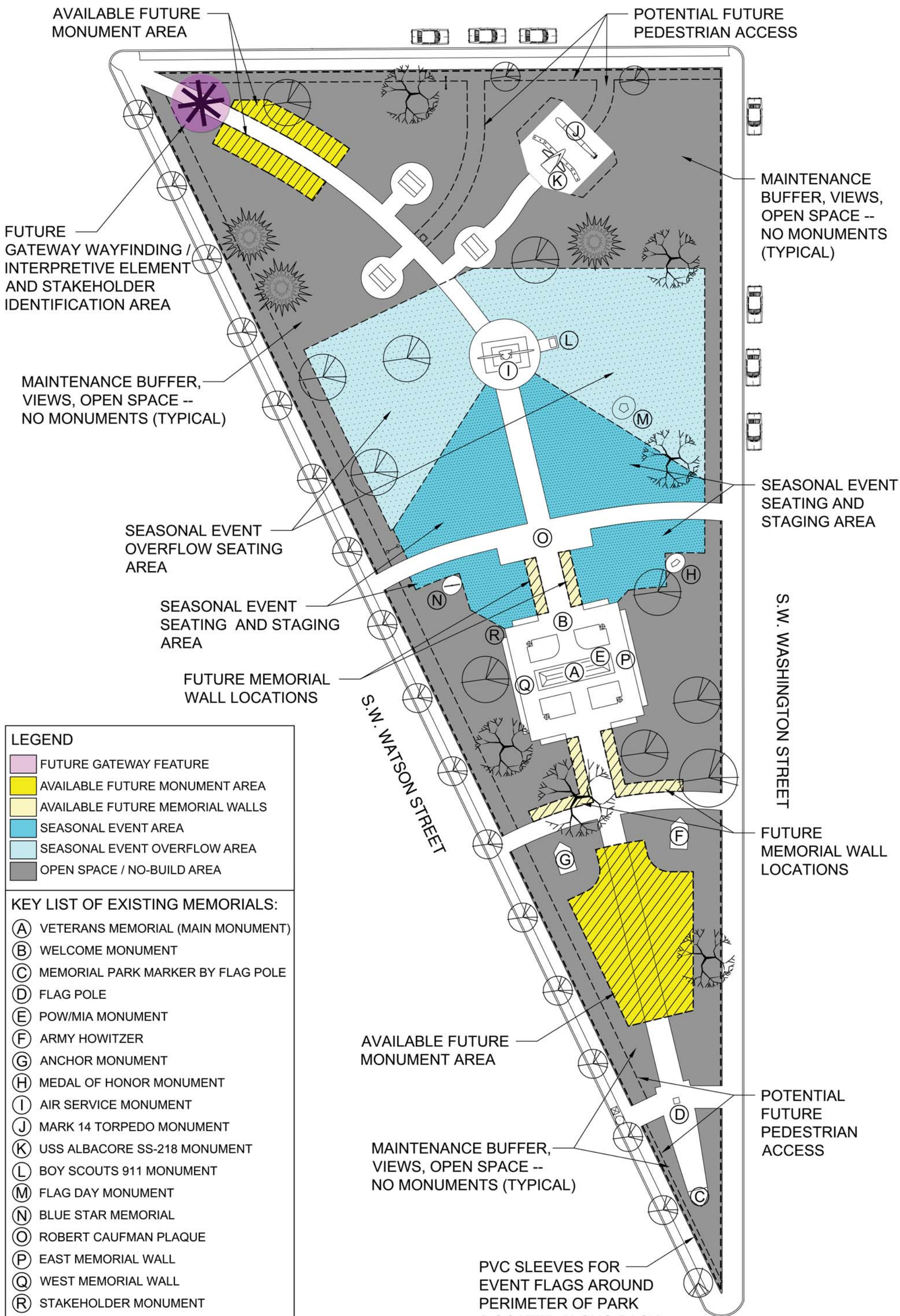
Approved by the Tualatin Hills Park & Recreation District Board of Directors on the 7th day of December 2015.

Larry Pelatt, President

Jerry Jones Jr., Secretary

ATTEST:

Jessica Collins, Recording Secretary



LEGEND

- FUTURE GATEWAY FEATURE
- AVAILABLE FUTURE MONUMENT AREA
- AVAILABLE FUTURE MEMORIAL WALLS
- SEASONAL EVENT AREA
- SEASONAL EVENT OVERFLOW AREA
- OPEN SPACE / NO-BUILD AREA

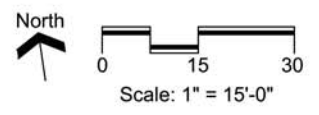
KEY LIST OF EXISTING MEMORIALS:

- (A) VETERANS MEMORIAL (MAIN MONUMENT)
- (B) WELCOME MONUMENT
- (C) MEMORIAL PARK MARKER BY FLAG POLE
- (D) FLAG POLE
- (E) POW/MIA MONUMENT
- (F) ARMY HOWITZER
- (G) ANCHOR MONUMENT
- (H) MEDAL OF HONOR MONUMENT
- (I) AIR SERVICE MONUMENT
- (J) MARK 14 TORPEDO MONUMENT
- (K) USS ALBACORE SS-218 MONUMENT
- (L) BOY SCOUTS 911 MONUMENT
- (M) FLAG DAY MONUMENT
- (N) BLUE STAR MEMORIAL
- (O) ROBERT CAUFMAN PLAQUE
- (P) EAST MEMORIAL WALL
- (Q) WEST MEMORIAL WALL
- (R) STAKEHOLDER MONUMENT

Veterans Memorial Park

MASTER PLAN

Updated 4/3/13





MEMO

DATE: November 20, 2015
TO: Doug Menke, General Manager
FROM: Keith Hobson, Director of Business & Facilities

RE: Trails Functional Plan

Introduction

At the August 10, 2015 regular board meeting, staff made a presentation on the draft Trails Functional Plan (TFP) and requested board feedback on the plan. The plan has been updated based on comments and discussion at the meeting. Staff is requesting board approval of the document at the December 7, 2015 meeting.

Background

The district's first Trails Master Plan was adopted in 1998. This plan provided a guide for future decisions and activities regarding how the district would acquire, develop, operate and maintain a district wide trail system over a 20-year period. An update to this plan was completed in 2006 which recognized the accomplishments on completing projects and to identify future needs based on providing a district wide trail system. The 2013 Comprehensive Plan Update called for the completion of five functional plans throughout the district, one of which being trails.

The TFP is a guide to help achieve a district wide trail system. It establishes guidance for land acquisition, prioritization criteria for trail development and enhancement, expectations for trail design and maintenance and metrics for monitoring progress in the implementation of the trails system. The plan also serves as a tool to guide stakeholders, including district staff, in making trail planning, development and maintenance decisions. The plan received review from various district advisory committees, a community open house, an online survey, and through fellow agency peer review. The plan was also available online at the district's website for public review and comment.

During this time period, there was a concern raised about the proposed classification for one of the trails in the draft TFP. Staff met with several former members of the Trails Advisory Committee (TAC) to discuss the concern that was raised. The former TAC members reaffirmed their support for the proposed classification as it is presented in the draft TFP.

Changes to the draft TFP presented in August include the following:

1. Updated Section 6.2 (pg. 62) – Added language to reflect how the district will communicate outcomes of the various monitoring processes outlined in Table 6A. This will include periodic updates, reports and maps to the public, district staff, management team and the board. Also added language regarding public communication on successes in enhancing the trail system.

2. Updated Trail System Map – Revised map to reflect the crossing of Sunset Highway at the Sunset Transit Center as a completed segment in the overall trail system administered by other jurisdictions (the Oregon Department of Transportation). Also revised map to better reflect Washington County’s 2035 Transportation System Plan Update from 2014 for the South Cooper Mountain area, which shows a connection from the future McKernan Trail/South Cooper Loop Trail intersection westward to the future Reedville Trail. Added a new community trail in the North Cooper Mountain area to acknowledge a future trail need identified in the City of Beaverton’s South Cooper Mountain Community Plan.
3. Appendix Information Included (pgs. 64-80) – Added information to the appendix including a) larger format 2015 Trail System Map; b) trail design details for typical elements found along district trails (e.g., site furnishings, signage); and c) 2010-2015 trail count information along regional trails having trail counters.
4. Minor Text Amendments
 - a. Added language noting need to coordinate trail planning with local and regional transportation system plans, including Metro’s Active Transportation Plan (Section 3.1.4, pgs. 10-11).
 - b. Added language to reinforce that trails, especially regional trails, serve a transportation function – especially for bicycle commuters – in addition to providing a recreation function. (Added to multiple locations throughout the document.)
 - c. Added language noting that design exceptions may be granted based on regional or local jurisdictional guidelines. Such as Metro’s Active Transportation Plan (Section 4.3, pg. 31).
 - d. Added clarification language noting that completed trail segments identified in Tables 3B through 3E may be substandard. Further clarifying language is included noting that the intent of these tables is to illustrate trail system connectivity, not trail system condition (Section 3.2.1.a, pg. 13).
 - e. Added language clarifying that the mid-block crossing treatments identified in the plan are guidelines only and that specific crossing treatments are subject to review and approval by the respective jurisdictional agency – either the City of Beaverton or Washington County. (Section 4.9, pg. 47)
 - f. Added a new community trail designation to Section 3.2.2.b (pg. 19) to reflect the addition of the North Cooper Mountain Trail to the 2015 Trail System Map.
 - g. Added a footnote related to use of SDC funds for improvements to existing substandard trails (Section 5.1.2, pg. 57 and Section 5.3.1.b, pg. 59).

Benefits of Proposal

The proposal will provide guidance for staff, clarify trail planning and development decisions and priorities for stakeholders, and will provide supporting information to be used when writing grant proposals.

Potential Downside of Proposal

There are no potential downsides to the proposal.

Action Requested

Board of directors’ approval of the Trails Functional Plan.

Tualatin Hills Park & Recreation District Trails Functional Plan

December 2015

Board of Directors

John Griffiths, Secretary Pro-Tempore

Jerry Jones Jr., Secretary

Ali Kavianian, Director

Larry Pelatt, President

Bob Scott, Director

THPRD Management Oversight

Doug Menke, General Manager

Keith Hobson, Director of Business & Facilities

Aisha Panas, Director of Park & Recreation Services

THPRD Project Team

Bruce Barbarasch, Superintendent of Natural Resources & Trails Management

Tim Bonnin, Senior Park Planner

Mike Fontenot, Park Maintenance Coordinator

Steve Gulgren, Superintendent of Design & Development

Brad Hauschild, Urban Planner

Mark Hokkanen, Risk & Contract Manager

Mike Janin, Superintendent of Security Operations

Gery Keck, Facilities & Project Manager

Nicole Paulsen, Design & Development Coordinator

Jeannine Rustad, Superintendent of Planning

Keith Watson, Park Maintenance Supervisor

Plan Reviewers

THPRD Advisory Committees (Parks, Natural Resources, Trails)

Metro Trails and Greenspaces Staff

Washington County Land Use & Transportation Staff

City of Beaverton Transportation Planning Staff

Consultant

Katie Mangle, Alta Planning + Design

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1. Executive Summary

The purpose of the Trails Functional Plan (TFP) is to support implementation of the Tualatin Hills Park & Recreation District's (THPRD) 2013 Comprehensive Plan Update. This plan sets forth THPRD's approach to providing, developing and maintaining trails for its patrons. This TFP outlines how the district acquires land for trails and prioritizes new trail development and existing substandard trail enhancement.

This plan replaces the 2006 Trails Master Plan. It updates the district's existing trails inventory and makes new recommendations for the trail framework. The TFP will help THPRD maintain overall level of service (LOS), improve walkable access to trails, establish criteria for how land is acquired for trails and establish prioritization criteria for trail development and enhancement.

This plan consists of four primary sections:

- Existing Conditions
- Achieving Success
- Implementation & Development
- Success Monitoring

1.1 Existing Conditions / Where We Are

This section of the TFP includes refinement to the district's trail classification system that further clarifies the intent of regional, community and neighborhood trails as well as other types of facilities (e.g., shared use pathways, sidewalks, etc.). It also establishes new design standards for regional (12 feet wide), community (10 feet wide) and neighborhood (6-8 feet wide) trails. Guidance is also provided on administering trail counts and provides locational criteria for counter placement as well as describing the types of mid-block crossing options available, and their design elements.

The TFP identifies a number of trail planning partners the district should actively engage with to further its trail system. This includes agencies such as the Oregon Parks & Recreation Department, the Oregon Department of Transportation, Metro, Washington County, the City of Beaverton and those cities neighboring the district's service area. The plan also identifies utility agencies, such as the Bonneville Power Administration, Portland General Electric and Clean Water Services, as being partners in trail design and development.

A major component of this section of the plan is the identification of the district's trail system and the individual segments that make up each individual trail. A number of tables highlight those segments completed and those segments remaining to be constructed. Additional tables

highlight new trails that need to be planned for, especially in new urbanizing areas of the district like South Cooper Mountain and Bonny Slope West.

1.2 Achieving Success / What We Want To Be

The TFP establishes trail standards for the district's trail classifications (regional, community, neighborhood) as well as standards for trails occurring in unique situations (trails adjacent to roadways, trails combined with sidewalks, trails in greenways). This plan also includes a number of design standards and guidelines covering a variety of topics such as accessibility, utilities, surfacing, amenities (site furnishings, bollards, signage, etc.), bridges and boardwalks and safety and security. Additionally, guidance is provided for maintenance and operation of trail facilities.

1.3 Implementation & Development / How We Get There

The TFP identifies criteria that will be used to prioritize trail enhancement and development. These include, but are not limited to: level of community support, project location in an underserved area and whether or not it overcomes barriers. As projects arise, they will be scored and placed in Tier I (high) or Tier II (medium) priority categories. These criteria will also be used for determining site suitability for land acquisition of new trail corridors.

In addition to the criteria identified in this plan, future trails to be located along creek corridors or other natural areas, such as the Beaverton Creek, Bronson Creek and Willow Creek Trails, will also be evaluated using site development suitability criteria identified in the district's Natural Resources Functional Plan (NRFP). These trails are identified as future study areas on the updated trail system map, incorporated within this TFP.

A number of funding sources are identified for trail development and enhancement projects, such as capital funds, system development charges (SDCs), grants, partnerships and general obligation bonds. Not all funding sources can be used for all types of trail improvements.

1.4 Success Monitoring / How Are We Doing?

The TFP identifies a number of performance measures for trails, which are typically monitored annually and include, but are not limited to: miles of new trails completed, miles of existing trails enhanced and number of trail users counted. Trail user profiles, and access to target populations will be monitored to help ensure equitable access to trails throughout the district's service area.

2. Introduction

The district's 1998 Trails Master Plan, updated in 2006, recommended improvements to the existing trail system; completion of missing gaps; and connections to significant environmental features, schools, parks and recreation, public facilities, transit, local neighborhoods and business centers throughout the region. The Trails Master Plan also listed eight goals:

- Providing recreation opportunities
- Trail development and regional connections
- Access
- Community linkages
- Amenities
- Maintenance and emergency access
- Preservation
- Funding

This TFP replaces the 2006 Trails Master Plan. It updates the district's trails inventory and incorporates the eight goals. This TFP also identifies new recommendations for the district's trail framework. While this TFP replaces the 2006 Trails Master Plan, which replaced the 1998 Trails Master Plan, it builds upon the progress made since these previous plans were adopted and sets a vision for future success.

The purpose of the TFP is to outline how THPRD:

- Acquires land for trails
- Prioritizes new trail development
- Upgrades existing substandard trails

The following goal identified in the 2013 Comprehensive Plan Update relates to providing, developing and maintaining trails for its patrons:

- Goal 5 – *“Develop and maintain a core system of regional trails, complemented by an interconnected system of community and neighborhood trails, to provide a variety of recreational opportunities such as walking, biking and jogging.”*

In addition to providing recreational opportunities for district residents, it is recognized that trails also provide transportation opportunities to transit – both bus and light rail – for bicycle commuters.

An outcome of THPRD's Comprehensive Plan Update process and the 2013 Comprehensive Plan Update was a call for a review of the standards and guidelines used to ensure residents are provided with quality facilities, such as trails, parks and natural areas. This review included

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land acquisition procedures for trails, development or enhancement of trails and maintenance and operation of trails.

This plan will help the district:

- Maintain overall level of service (LOS) to the residents it serves
- Improve walkable access to trails and other district facilities
- Establish update criteria for how land is acquired for trails
- Establish prioritization criteria for new trail development and enhancement of existing substandard trails

3. Existing Conditions / Where We Are

THPRD first adopted a trails master plan in 1998. In 2006, that plan was updated (as part of the comprehensive plan update) and identified a number of goals for trails; established a trail classification system; created standards for trails, land acquisition and maintenance; and provided strategies for achieving success. The 2006 Comprehensive Plan was updated in 2013, refining district goals and rethinking strategies on goal implementation, including the establishment of this TFP. This section of the TFP takes a look at where the district sits today and its progression since the 2006 update.

3.1 General Description / Overview

3.1.1 Bond Survey Results

As part of the district's 2008 bond initiative, a survey was conducted to determine what facilities are most important to residents. Development of new trails and completing gaps in the existing trail system were at the top of the list. Surveys completed in 2012, 2014 and 2015 as part of the 2013 Comprehensive Plan Update, Parks Functional Plan (PFP) and this TFP also confirmed that trails and access to trails rate high in importance to district residents for both recreational and commuting purposes.

3.1.2 Trail Descriptions and Classifications

The following trail descriptions are intended to provide a broader overview of the types of trails and linkages that can be found within THPRD's service area. Trails within the service area are varied and occur in many different types of environments and situations. This includes trails that are more urban, occupying roadways, sidewalks, other rights of way and trails that may switch from a designated paved, multiuse trail onto a shared sidewalk/trail, to weave through the surrounding urban infrastructure. Some trails may be more natural or remote or follow utility corridors or greenways.

3.1.2.a Regional Trail

A regional trail is defined by its length, multi-jurisdictional alignment and connection to regionally significant features. Regional trails connect residents within the district to adjacent communities like Hillsboro, Tigard, Portland, unincorporated Washington County and the greater Portland metropolitan region. These trails also connect to regionally significant features such as the Tualatin Hills Nature Park, the Jenkins Estate and the Howard M. Terpenning Recreation Complex. In addition to providing recreational opportunities, regional trails often serve as transportation corridors because of the regional connections they make to transit, civic places, employment and commercial centers, and residential neighborhoods. Typical characteristics of regional trails include:

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- Accommodating two-way non-motorized bicycle and pedestrian traffic, typically being 12 feet wide
- Being located in its own right of way separated from roads and streets
- Being paved with gravel shoulders
- Accommodating smaller maintenance and emergency vehicles when possible

3.1.2.b Community Trail

Community trails link important destinations between neighborhoods and across the district to parks, natural areas, schools, trails, transit and shopping centers. They function as both recreation and transportation corridors for a variety of users. Typical characteristics of community trails include:

- Accommodating two-way non-motorized bicycle and pedestrian traffic, typically being 10 feet wide
- Being located in its own right of way separated from roads and streets
- Being paved with gravel shoulders
- Potentially being designed to function as a regional trail when high trail use is anticipated
- Accommodating smaller maintenance and emergency/security vehicles when possible

3.1.2.c Neighborhood Trail

Please note that the 2006 Trails Master Plan identified both urban and neighborhood natural trails in its trail classifications. With this TFP, natural neighborhood trails have been re-classified as soft “surface pathways.” These types of trails are primarily site specific to parks or natural areas and do not extend beyond these areas. Information on design considerations for these types of pathways can be found in the district’s PFP and the NRFP. With this TFP, urban neighborhood trails have been re-classified as neighborhood trails and are described below.

Neighborhood trails provide short distance connections to local features such as parks, natural areas, community centers, schools and other neighborhood attractions. Where they provide a direct connection, neighborhood trails will generally have their own right of way, separated from the street system. In other cases, they may consist of on-street segments with patrons using existing sidewalks for pedestrians and bike lanes or residential streets for bicyclists. These trails are often walking and hiking trails from regional or community trails and public right of ways, but many may also be located within parks or natural areas. Typical characteristics of neighborhood trails include:

- Not always accommodating two-way non-motorized bicycle and pedestrian traffic, typically being 6-8 feet wide
- Being located on- or off-street, with or without its own right of way and separated from roads or streets
- Being paved or unpaved, usually without gravel shoulders

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- Not always being fully accessible because neighborhood trails can include staircases or be located on steep slopes due to site topography

3.1.2.d Additional Definitions

- *Trail*: a designated land corridor that provides a marked route with little interruption in travel
- *Shared Use*: shared by pedestrians (including dog walkers), bicyclists, skaters, joggers and other non-motorized users.
- *Unpaved/Natural Surface*: a surface consisting of gravel, crushed rock, soil, or other semi-pervious material
- *Sidewalk*: a paved walkway along the side of a roadway separated from the roadway by a raised curb and/or planter strip; located within the public right of way
- *Bike lane*: a portion of the roadway, usually an arterial or collector, that has been designated by striping, signing and pavement markings for the preferential or exclusive use of bicyclists; located within the public right of way

3.1.3 Trail Counters

THPRD manages a trail user count program that relies on passive infrared counters at fixed locations, collecting hourly usage. The information is collected monthly for analysis in daily, weekly, monthly and annual reports. Based on district staff calibration, the trail counters are highly accurate. Several counters can be found along the same trail to determine heavier use areas. Also, multiple counters along the same trail can help to track changes over time, such as a before and after the addition of a new trail segment, installation of a mid-block crossing, or providing new directional signage. It should be noted that increases or decreases in trail use can vary depending on a whole host of variables, including weather and time of year.

3.1.3.a Trail Counts

The district uses a number of trail counters along many of its regional and community trails. Trail counters are also used along pathways or nature trails internal to park sites and natural areas. As described previously, the purpose of using trail counters is to gauge trail usage and track trail user trends. At the time of this TFP adoption, trail counters are located at the following regional and community trail locations (see Appendix 7.3 for counts collected from 2010-2015). Information collected does show a trend for increasing trail use each year, especially on those trails where gaps have been completed, such as on the Fanno Creek Trail and Westside Trail.

- Fanno Creek Regional Trail at Scholls Ferry Road
- Fanno Creek Regional Trail at Hall Boulevard
- Fanno Creek Regional Trail at 92nd Avenue
- Rock Creek Regional Trail
- Waterhouse Trail (North) at Walker Road
- Waterhouse Trail (South) at Walker Road

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- Westside Regional Trail at Murrayhill
- Westside Regional Trail at Village Lane

3.1.3.b Trail Counter Location Criteria

As new trails are planned and completed, the location of trail counters is important to ensure appropriate trail usage data is collected. Locations selected for long- and short-duration data collection should focus primarily on those trail sections most representative of prevailing user patterns (not necessarily at landmarks or other areas that might skew data collection).

For fixed counters, which are what the district uses, the following considerations should be kept in mind:

- Locate on straight, level sections of trail, not on curves or on/near a steep grade
- Locate on smooth pavement or other compacted surface
- Locate at potential improvement areas, such as mid-block crossings, gaps, pinch points and locations that are operationally difficult for bicyclists and pedestrians to navigate, to gauge impacts of future improvements
- Avoid locating near water or in direct sunlight
- Avoid placement that directly faces roadways unless a vertical barrier exists
- Avoid locating near high-power utility lines that could disrupt or distort the detection capability

The Natural Resources & Trail Management department is responsible for locating trail counters and collecting trail count data. Prior to installation, coordination with the appropriate district staff is needed to determine a precise trail counter location.

3.1.4 Trail Planning Partners

The district is primarily concerned with the off-street trails network. On-street connections between trails, parks, natural areas, schools, transit and other community destinations are the primary responsibility of the City of Beaverton and Washington County. However, partnership and cooperation between the district, city and county is essential when providing or enhancing existing on-street connections to adequately serve users. This includes coordination between this plan and the transportation plans of each respective agency.

Within THPRD's service area, other jurisdictions are responsible for permitting development through the land use and development approval process. The land use ordinances of Beaverton and Washington County provide both jurisdictions the ability to require land dedication and on-site development of trails during the development review process. Trails included in each jurisdiction's Transportation System Plan (TSP) may be incorporated through the site planning and land division application review process.

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In addition to working with the city and county, other agencies can offer guidance for trail planning and development. Table 3A provides an overview of these partner agencies.

Table 3A – Trail Planning Partners

Trail Partner	Description
Oregon Parks & Recreation Department (OPRD)	<ul style="list-style-type: none"> • Statewide recreational trails planning and development agency • Provides technical assistance for trail design and development • Provides funding for trail development and construction through state and federal grant programs • Supports bicycle and pedestrian tourism • Coordinates with ODOT to ensure compatibility between trails and transportation
Oregon Department of Transportation (ODOT)	<ul style="list-style-type: none"> • Statewide transportation planning and development agency • Provides technical assistance for trail design and development whenever located within a state right of way or on federally funded trail projects • Provides funding for trail design and development through state and federal grants and funding programs • Coordinates with OPRD to ensure compatibility between trails and transportation
Metro	<ul style="list-style-type: none"> • Regional trails and transportation planning agency, including the regional trails and greenspaces the plan, regional transportation plan and the regional active transportation plan • Provides technical assistance for trail design and development • Provides funding for trail planning, design and development through regional and federal grants and funding programs • Coordinates with state and local agencies to ensure compatibility between trails and transportation • Administers a number of data collection, analysis and distribution programs on the regional trail system, including land acquisition, planning, implementation, monitoring and maintenance
Washington County	<ul style="list-style-type: none"> • THPRD’s ultimate service area includes portions of urbanized, unincorporated Washington County, such as Aloha, Bethany, Bonny Slope, Cedar Hills and Cedar Mill • Local transportation planning agency, including bicycle and pedestrian systems (identified in the county’s transportation plan)

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Trail Partner	Description
Washington County (cont'd)	<ul style="list-style-type: none"> • Provides regulatory guidance/standards for trail design and development when located in the public right of way and as part of the development review process • Provides funding and/or other assistance for trail design and development through county funding programs and/or capital improvement projects, such as bike lanes or widened sidewalks • Coordinates with THPRD and other local agencies to ensure compatibility between trails and transportation
Clean Water Services (CWS)	<ul style="list-style-type: none"> • Local environmental agency for water quality protection and enhancement • Provides regulatory guidance/standards for trail design and development located within vegetated corridors adjacent to creeks, stream and wetlands • Provides mitigation/enhancement requirements for impacts to vegetated corridors as a result of trail development.
City of Beaverton	<ul style="list-style-type: none"> • Located entirely within THPRD's ultimate service area • Local transportation planning agency, including bicycle and pedestrian systems (identified in the city's transportation plan) • Provides regulatory guidance/standards for trail design and development when located in the public right of way and as part of the development review process • Provides funding and/or other assistance for trail design and development through local funding programs and/or capital improvement projects, such as bike lanes or widened sidewalks • Coordinates with THPRD to ensure compatibility between trails and transportation
City of Hillsboro	<ul style="list-style-type: none"> • Located on the west side of THPRD's ultimate service area • Local trails and transportation planning agency • Coordinates with THPRD to ensure compatibility with regional and community trail connections between service areas
City of Portland Parks & Recreation Bureau	<ul style="list-style-type: none"> • Located on the east side of THPRD's ultimate service area • Local trails planning agency • Coordinates with THPRD to ensure compatibility with regional and community trail connections between service areas

Trail Partner	Description
City of Tigard	<ul style="list-style-type: none"> • Located on the south side of THPRD’s ultimate service area • Local trails and transportation planning agency • Coordinates with THPRD to ensure compatibility with regional and community trail connections between service areas

3.2 Trail Segments

The district’s trails system, illustrated in Figure 3C, includes nine regional trails and 16 community trails encompassing over 60 miles. Of the nine regional trails, six are previously identified in the 2006 Trails Master Plan and three are new, based on the development of this TFP. Eleven of the community trails come from the 2006 Trails Master Plan and five are new additions. Also illustrated on the 2015 Trail System Map are key neighborhood trails that provide connections from regional or community trails to significant points of interest, such as parks, natural areas, transit, schools or other areas of interest. Please note that while neighborhood trails are illustrated on the map, they are not designated by name in the same manner as regional and community trails are designated.

3.2.1 Current Trails

3.2.1.a Current Regional Trails

The district has six regional trails identified within its service area (based on the 2006 Trails Master Plan), traversing over 36 miles. Of these, two are nearly complete with only small segments remaining (Fanno Creek and Rock Creek Trails) and one is halfway complete (Westside Trail). The three remaining trails (Beaverton Creek, McKernan Creek (formerly named Cooper Mountain) and Tualatin Valley) have minimal, if any, segments completed. The following table illustrates the district’s regional trail network. These trails are illustrated in Figure 3C.

Trail segments that are constructed are considered “complete” in the status column in the following tables. Segments not constructed are deemed “incomplete” and segments that have portions constructed are considered “partial,” These status classifications apply to both regional and community trails. Please note, that although some trail segments are complete, they may be considered substandard. The following tables (3B – 3E) are intended to highlight trail system connectivity throughout the district.

Table 3B – Current Regional Trail Descriptions.

R1 – Rock Creek Trail			
Segment	Description	Status	Length (miles)
1	Sunset Highway – Crescent Park Trail	Incomplete	0.69
2	Crescent Park Trail – 185 th Avenue	Complete	0.32

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R1 – Rock Creek Trail			
Segment	Description	Status	Length (miles)
3	185 th Avenue – West Union Road	Complete	0.26
4	West Union Road – Waterhouse Trail	Complete	1.00
5	Waterhouse Trail – Kaiser Road	Complete	0.77
6	Kaiser Road – Westside Trail	Complete	0.88

R3 – Westside Trail			
Segment	Description	Status	Length (miles)
1	Barrows Road – Scholls Ferry Road	Complete	0.39
2	Scholls Ferry Road – Weir Road	Complete	1.00
3	Weir Road – Galena Way	Complete	0.26
4	Galena Way – Rigert Road	Complete	0.64
5	Rigert Road – Hart Road	Complete	0.38
6	Hart Road – Burntwood Way	Complete	0.26
7	Burntwood Way – Davis Road	Complete	0.39
8	Davis Road – Division Street	Complete	0.42
9	Division Street – Farmington Road	Complete	0.22
10	Farmington Road – TV Highway	Complete	0.57
11	TV Highway – Merlo Light Rail Station	Partial	0.76
12	Merlo Light Rail Station – Jenkins Road	Incomplete	0.29
13	Jenkins Road – Walker Road	Partial	0.61
14	Walker Road – Sunset Highway	Incomplete	0.93
15	Sunset Highway – Cornell Road	Incomplete	0.31
16	Cornell Road – Oak Hills Drive	Incomplete	0.36
17	Oak Hills Drive – West Union Road	Incomplete	0.43
18	West Union Road – Rock Creek Trail	Partial	1.81
19	Rock Creek Trail – THPRD Boundary	Incomplete	0.72

R4 – Beaverton Creek Trail			
Segment	Description	Status	Length (miles)
1	THPRD Boundary – 185 th Avenue	Incomplete	0.79
2	185 th Avenue – 170 th Avenue	Incomplete	0.91
3	170 th Avenue – Murray Boulevard	Partial	1.56
4	Murray Boulevard – Cedar Hills Boulevard	Incomplete	1.13
5	Cedar Hills Boulevard – Lombard Avenue	Incomplete	0.52
6	Lombard Avenue – Allen Boulevard	Partial	1.21
7	Allen Boulevard – Denney Road	Partial	0.51
8	Denney Road – Fanno Creek Trail	Partial	0.49

R5 – Tualatin Valley Trail			
Segment	Description	Status	Length (miles)
1	Reedville Trail – 185 th Avenue	Incomplete	0.53
2	185 th Avenue – Westside Trail	Incomplete	1.38

R5 – Tualatin Valley Trail			
Segment	Description	Status	Length (miles)
3	Westside Trail – Murray Boulevard	Incomplete	0.63
4	Murray Boulevard – Erickson Street	Incomplete	1.42
5	Erickson Street – Beaverton Creek Trail	Incomplete	1.04

R7 – Fanno Creek Trail			
Segment	Description	Status	Length (miles)
1	Scholls Ferry Road – Hall Boulevard	Complete	1.17
2	Hall Boulevard – Denney Road	Complete	0.70
3	Denney Road – BSD Maintenance Shop	Partial	0.74
4	BSD Maintenance Shop – Scholls Ferry Road	Complete	0.68
5	Scholls Ferry Road – 92 nd Avenue	Incomplete	0.11
6	92 nd Avenue – Oleson Road	Complete	1.15

R8 – McKernan Creek Trail (formerly the Cooper Mountain Trail)			
Segment	Description	Status	Length (miles)
1	South Cooper Loop Trail – 175 th Avenue	Incomplete	2.14
2	175 th Avenue – Summercrest Park	Incomplete	0.79
3	Summercrest Park – Westside Trail	Complete	0.47

3.2.1.b Current Community Trails

The district has 11 community trails identified within its service area (based on the 2006 Trails Master Plan), traversing over 30 miles. Of these trails, only the Waterhouse Trail has been nearly completed (only a fifth mile gap remains unconstructed of the 5 mile trail). The remainder of the district’s community trails has only partially completed segments or has not yet been constructed. The following table outlines the district’s community trail network. These trails are illustrated in Figure 3C.

Table 3C – Current Community Trail Descriptions.

C1.1 – North Bethany Trail			
Segment	Description	Status	Length (miles)
1	Rock Creek Trail – Reindeer Drive	Complete	0.13
2	Reindeer Drive – Springville Road	Incomplete	0.26
3	PCC Rock Creek Recreation Facility	Complete	0.85
4	PCC Rock Creek Recreation Facility – Bethany Creek Trail #1	Incomplete	1.46

C1.2 – Bethany Creek Trail #1			
Segment	Description	Status	Length (miles)
1	North Bethany Trail – Kaiser Road	Incomplete	0.46
2	Kaiser Road – Bethany Creek Trail #2	Incomplete	0.76

C1.3 – Bethany Creek Trail #2			
Segment	Description	Status	Length (miles)
1	Waterhouse Trail – Kaiser Road	Incomplete	0.64
2	Kaiser Road – Springville Road	Incomplete	0.76
3	Springville Road – Westside Trail	Incomplete	0.44

C1.4 – Bethany Creek Trail #3			
Segment	Description	Status	Length (miles)
1	Waterhouse Trail – Kaiser Road	Incomplete	0.46
2	Kaiser Road – North Bethany Trail	Incomplete	0.51

C2 – Bronson Creek Trail			
Segment	Description	Status	Length (miles)
1	Cornell Road – Sunset Highway	Complete	0.18
2	Sunset Highway – 174 th Avenue	Incomplete	0.09
3	174 th Avenue – West Union Road	Incomplete	0.99
4	West Union Road – Westside Trail	Incomplete	0.60
5	Westside Trail – Laidlaw Road	Incomplete	1.05
6	Laidlaw Road – Westside Trail	Partial	0.63

C4 – Cedar Mill Creek Trail			
Segment	Description	Status	Length (miles)
1	Lost Springs Drive – Bonny Slope West Trail	Complete	0.57
2	Bonny Slope West Trail – Foege Park/Cedar Hills Boulevard	Complete	0.47
3	Foege Park/Cedar Hills Boulevard – North Johnson Creek Trail	Partial	0.61
4	North Johnson Creek Trail – Barnes Road	Partial	0.30
5	Barnes Road – Lost Springs Drive	Complete	0.30

C5 – Willow Creek Trail			
Segment	Description	Status	Length (miles)
1	Willow Drive – MAX Line	Incomplete	0.34
2	MAX Line – Heritage Parkway	Incomplete	0.45
3	Heritage Parkway – Walker Road	Incomplete	0.47
4	Walker Road – 173 rd Avenue	Incomplete	0.33
5	173 rd Avenue – Waterhouse Avenue	Complete	0.62
6	Waterhouse Avenue – 153 rd Avenue	Incomplete	0.47

C6 – Waterhouse Trail			
Segment	Description	Status	Length (miles)
1	Merlo Road – Baseline Road	Complete	0.59
2	Baseline Road – Walker Road	Complete	0.49
3	Walker Road – Willow Creek Greenway	Complete	0.71
4	Willow Creek Greenway – Sunset Highway	Partial	0.18
5	Sunset Highway – Jocelyn Street	Complete	0.82
6	Jocelyn Street – Stoller Creek Greenway	Complete	0.89
7	Stoller Creek Greenway – Waterhouse Linear Park	Complete	0.16
8	Waterhouse Linear Park – Springville Road	Complete	0.66
9	Springville Road – THPRD Boundary	Complete	0.87

C7 – North Johnson Creek Trail			
Segment	Description	Status	Length (miles)
1	Cedar Mill Creek Trail – Valeria View Drive	Incomplete	0.83
2	Valeria View Drive – Sunset Transit Center	Incomplete	0.36
3	North Johnson Creek Trail – Miller Road	Incomplete	1.51
4	Miller Road – Cornell Road	Incomplete	0.97

C8 – Beaverton Wetlands Trail			
Segment	Description	Status	Length (miles)
1	TV Trail – Westside Trail	Complete	0.66

C9 – South Johnson Creek Trail			
Segment	Description	Status	Length (miles)
1	TV Highway – Farmington Road	Incomplete	0.48
2	Farmington Road – Division Street	Incomplete	0.36
3	Division Street – Village Lane	Incomplete	0.31
4	Village Lane – Davis Road	Incomplete	0.24
5	Davis Road – Hart Road	Partial	0.85
6	Hart Road – Sexton Mountain Drive	Partial	0.55
7	Sexton Mountain Drive – Beard Road	Incomplete	0.54
8	Beard Road – Murray Boulevard	Incomplete	0.73
9	Murray Boulevard – Scholls Ferry Road	Incomplete	0.59

3.2.2 New Trails

As the district’s service area continues to urbanize within its outer fringe, new trails will be needed to serve residents and further expand the district’s existing and planned trail system. This includes the areas of Aloha-Reedville in the west, Bonny Slope West in the northeast and South Cooper Mountain in the southwest. The trails identified in the tables below are a result of planning efforts undertaken by Washington County (Aloha-Reedville, Bonny Slope West) and Beaverton (South Cooper Mountain). Although already urbanized and developed, the area

east of Highway 217 is also in need of trails that would connect residents north towards US-26 and west towards the Beaverton Creek and Tualatin Valley Trails.

3.2.2.a New Regional Trails

The following table highlights three new regional trails the district needs to plan for as the areas described above begin to urbanize and develop. This includes the north-south Reedville Trail, which will connect the South Cooper Loop Trail to the Tualatin Valley and Beaverton Creek trails; and the South Cooper Loop Trail, which runs east-west connecting the Westside Trail to the Reedville Trail in the district’s southwest quadrant. The Crescent Park Trail also runs east-west and will connect to the Rock Creek Trail from the City of Hillsboro (based on Hillsboro’s updated 2015 trails master plan) in the district’s northwest quadrant. These trails are illustrated in Figure 3C.

Table 3D – New Regional Trails.

R2 – Crescent Park Trail			
Segment	Description	Status	Length (miles)
1	THPRD Boundary – Rock Creek West Soccer Fields	Incomplete	0.28
2	Rock Creek West Soccer Fields – Rock Creek Trail	Complete	1.32

R6 – Reedville Trail			
Segment	Description	Status	Length (miles)
1	THPRD Boundary – South Cooper Loop Trail	Incomplete	0.93
2	South Cooper Loop Trail – THPRD Boundary	Incomplete	0.57

R9 – South Cooper Loop Trail			
Segment	Description	Status	Length (miles)
1	Reedville Trail – Farmington Road	Incomplete	0.36
2	Farmington Road – Grabhorn Road	Incomplete	1.44
3	Grabhorn Road – McKernan Creek Trail	Incomplete	0.74
4	McKernan Creek Trail – Scholls Ferry Road	Incomplete	1.01
5	Scholls Ferry Road – Roy Rogers Road	Incomplete	0.90
6	Roy Rogers Road – Barrows Road	Incomplete	0.42
7	Barrows Road – Barrows Park	Incomplete	0.51
8	Barrows Park – Westside Trail	Complete	0.49

3.2.2.b New Community Trails

The following table highlights the five new community trails the district needs to plan for as the areas described above begin to urbanize and develop. This includes the Bonny Slope Area in the northeast and the Cooper Mountain area in the southwest. These trails are illustrated in Figure 3C.

Table 3E – New Community Trails.

C3 – Bonny Slope West Trail			
Segment	Description	Status	Length (miles)
1	Cedar Mill Creek Trail – Thompson Road	Incomplete	1.63
2	Thompson Road – Bronson Creek Trail	Incomplete	1.36

C10.1 – South Cooper Mountain Trail #1			
Segment	Description	Status	Length (miles)
1	McKernan Creek Trail – South Cooper Loop Trail	Incomplete	1.35

C10.2 – South Cooper Mountain Trail #2			
Segment	Description	Status	Length (miles)
1	McKernan Creek Trail – South Cooper Loop Trail	Incomplete	1.14

C10.3 – South Cooper Mountain Trail #3			
Segment	Description	Status	Length (miles)
1	South Cooper Loop Trail – South Cooper Mountain Trail #9.1	Incomplete	1.11

C11 – North Cooper Mountain Trail			
Segment	Description	Status	Length (miles)
1	South Cooper Loop Trail – 190 th Avenue	Incomplete	0.93
2	190 th Avenue – Cooper Mountain Nature Area	Incomplete	0.38
3	Cooper Mountain Nature Area – McKernan Creek Trail	Incomplete	0.81

3.2.3 Trail Corridor Study Areas

It should be noted that much of the district’s remaining (to be constructed) regional and community trail systems are located within creek corridors and other environmentally sensitive areas. These trail corridors have been identified on the 2015 Trail System Map (Figure 3C) as study areas, which mean these areas do not have a defined trail alignment at this time.

These study areas will undergo a feasibility analysis incorporating both this TFPs Trail Prioritization Criteria Matrix (Table 4A) and the district’s Natural Resource Functional Plan’s (NRFP) Site Development Suitability Criteria (Table 5A in the NRFP) to determine an appropriate trail alignment. Although this analysis could result in the recommendation that a trail, or portion of a trail, be located outside of the resource area (possibly as an on-street connection), require additional natural area mitigation along the trail corridor or not be constructed at all, it is the desire of the district to provide off-street trails and connectivity

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whenever reasonable. Where the TFP trail prioritization criteria indicates a high priority for trail development and the NRFP site suitability criteria indicates a high priority for natural resource function, it shall be up to the district's management team and/or board of directors to determine which priority takes precedence.

For those trail corridors located within creek corridors or other environmentally sensitive areas but not identified on the trail system map in a study area, this same feasibility analysis will take place in order to determine the most appropriate trail alignment.

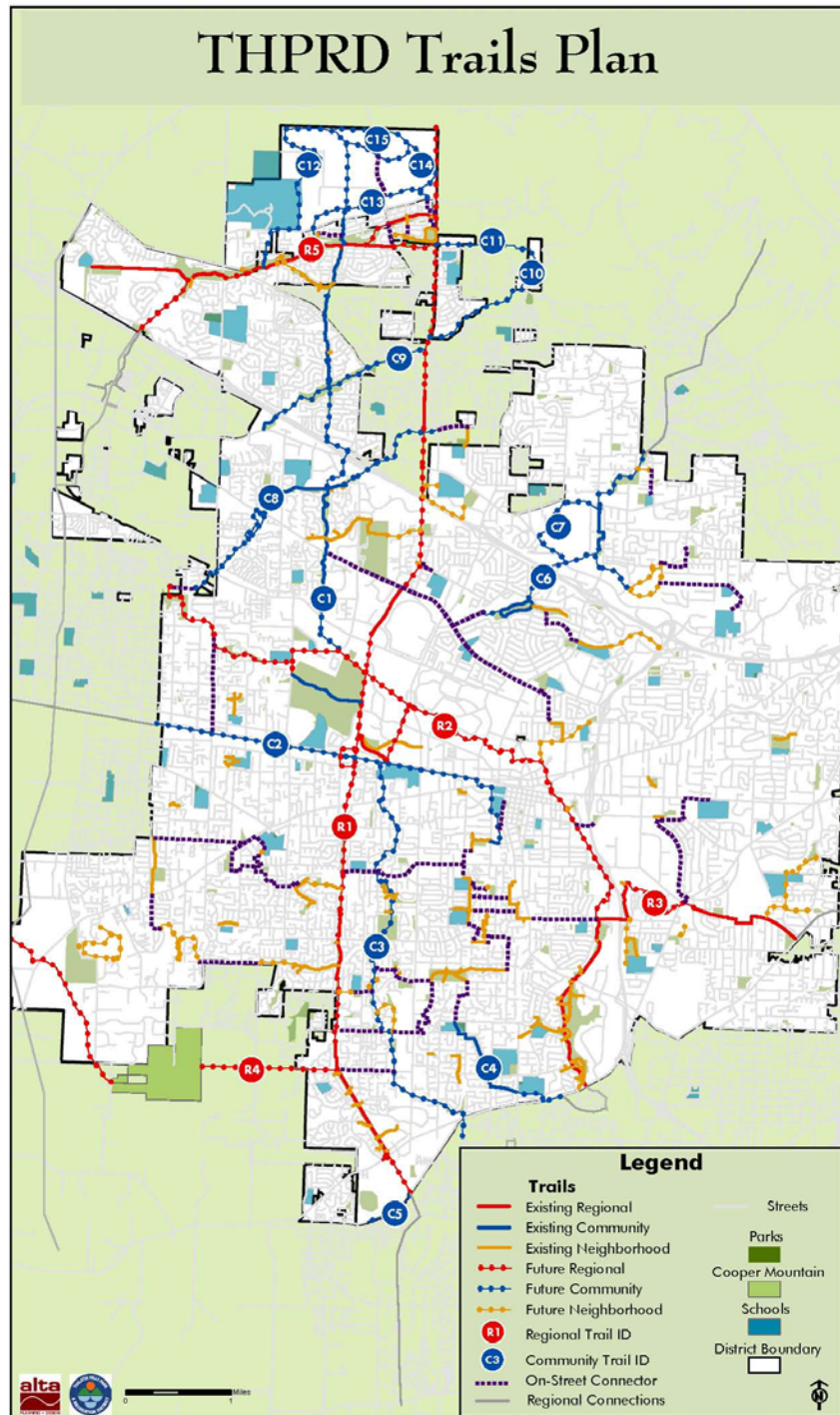
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3.2.4 Maps

3.2.4.a 2006 Trail System

Figure 3A illustrates the district's trail system at the time of the 2006 Trails Master Plan. This map provides a historical look at the trail system prior to the passage of the 2008 bond measure and the completion of a number of trail segments throughout the district.

Figure 3A – 2006 Trail System Map.

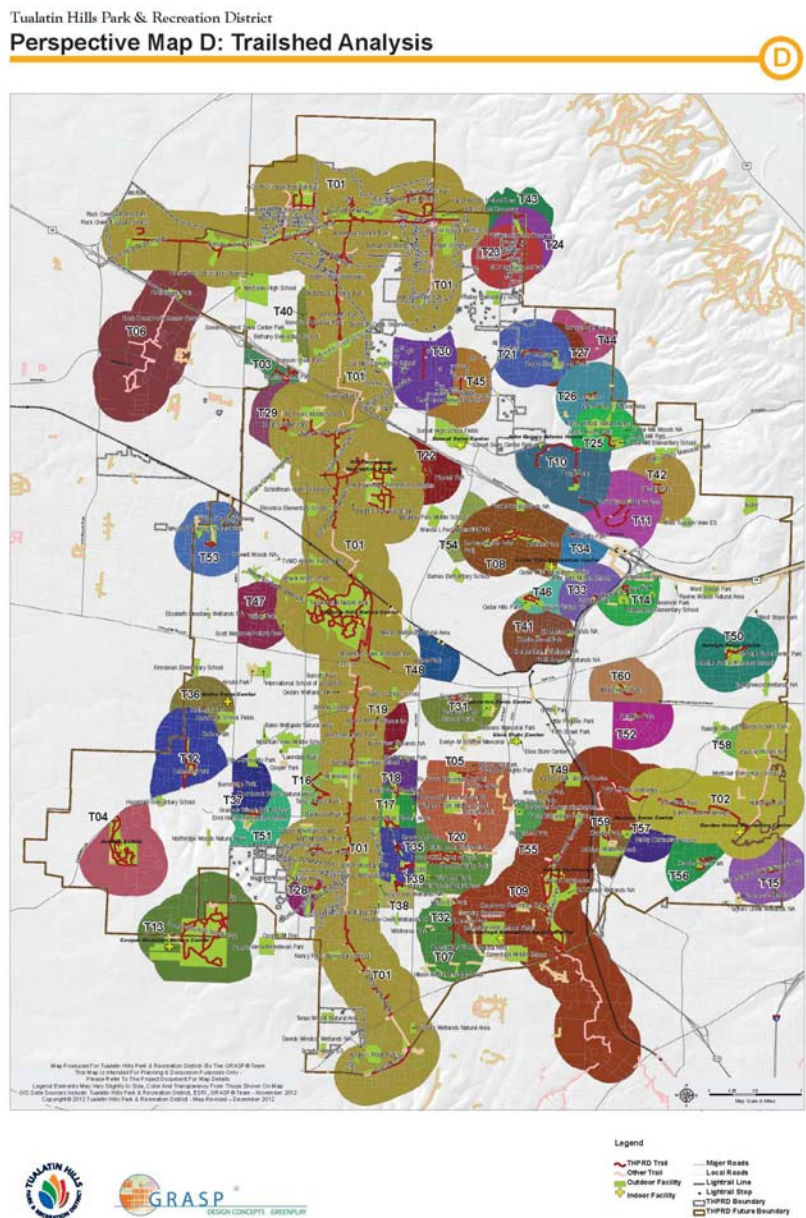


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3.2.4.b Trailshed Analysis

Figure 3B illustrates walkable access for district residents to district facilities from constructed district trails. This analysis was completed as part of the 2013 Comprehensive Plan Update, which calls for an emphasis on walkable access to district facilities such as trails, parks, natural areas and recreation/aquatic centers. This map also illustrates walkable access to the district's trail system; represented by the shaded areas (each color represents one trailshed). This map is for reference only (more detailed information can be found in the 2013 Comprehensive Plan Update).

Figure 3B – 2013 Trailshed Analysis.

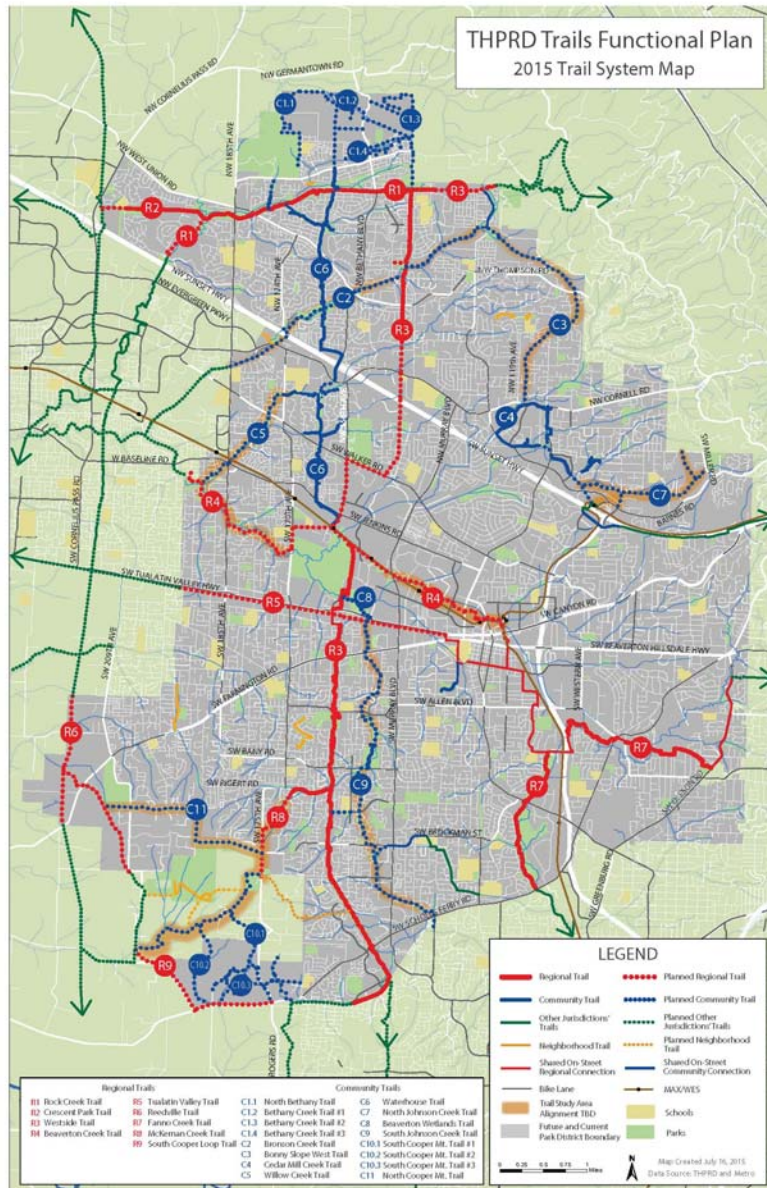


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3.2.4.c 2015 Trail System

Figure 3C illustrates the existing and planned trail system in THPRD’s service area. It also shows the context of existing and planned trails of other jurisdictions. It should be noted that some of the future trails are depicted as study areas, indicating these trail corridors are located in natural areas and require an additional level of analysis with site suitability criteria identified in the district’s NRFP to ensure trail and resource area compatibility. A large scale map can be found in the appendix for better legibility.

Figure 3C – 2015 Trail System Map.



4. Achieving Success / What We Want To Be

To facilitate the district’s desire to provide, maintain and operate a quality trail system, a number of guidelines have been established. A number of elements need to be considered, including, but not limited to, trail classifications, accessibility, amenities, surfacing, bridges and boardwalks and mid-block crossings. This section of the TFP provides the guidance necessary to ensure district trails meet user expectations.

4.1 Trail Design Standards by Classification

A complete trail network provides a variety of experiences within a range of settings. THPRD’s system includes routes that provide recreational opportunities as well as alignments that present viable transportation alternatives for bicycle commuters. The system includes three main functional classes of trails:

- Regional Trail
- Community Trail
- Neighborhood Trail

See Section 3.1.2 above for definitions of the trail classifications. Table 4A below provides guidance on trail design based on classification and Figures 4A through 4C illustrate a typical trail cross-section for each trail classification.

Table 4A – Trail Classification Design Matrix.

Classification	Function	Materials	Width	Vertical Clearance*	Horizontal Clearance**
Regional	Provides transportation and recreational connectivity at a regional scale	Paved (asphalt or concrete); may be pervious	12 feet with 2 foot gravel shoulder	10 feet (from top of trail)	2 feet (from edge of shoulder)
Community	Provides recreational and transportation connectivity at a community scale	Paved (asphalt or concrete; may be pervious)	10 feet with 1-2 foot gravel shoulder	10 feet (from top of trail)	2 feet (from edge of shoulder)
Neighborhood (Urban)	Provides access or a parallel route to higher level trail facilities.	Paved	6-8 feet, with or without gravel shoulder	10 feet (from top of trail)	2 feet (from edge of shoulder or trail w/o shoulder)

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Classification	Function	Materials	Width	Vertical Clearance*	Horizontal Clearance**
Neighborhood (Natural)	Linear natural spaces typically following riparian corridors.	Varies depending on site conditions	6-8 feet, no gravel shoulder	10 feet (from top of trail)	2 feet (from edge of trail)

*area above the trail free from obstructions such as tree limbs or branches

**area on both sides of trail free from obstructions such as shrubs and trees

Figure 4A – Regional trail typical section.

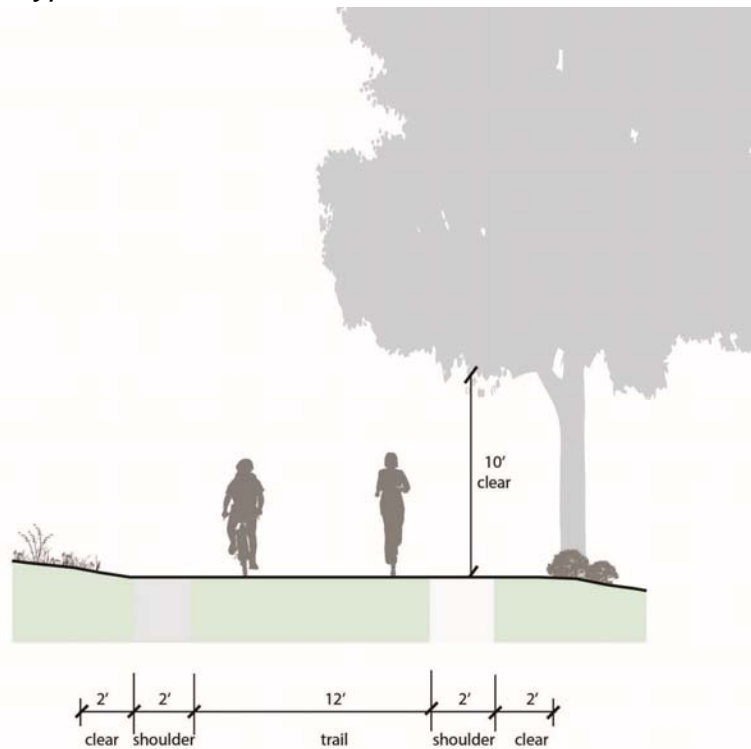


Figure 4B – Community trail typical section.

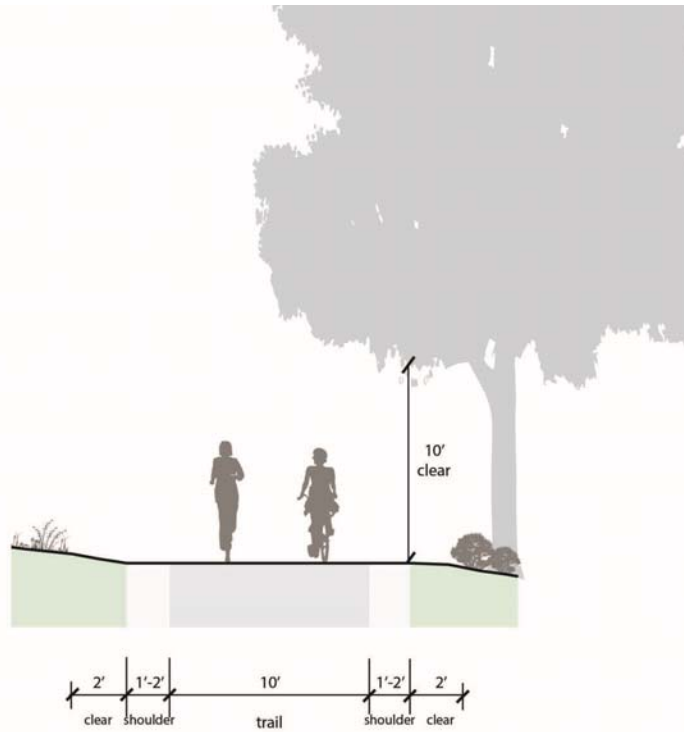
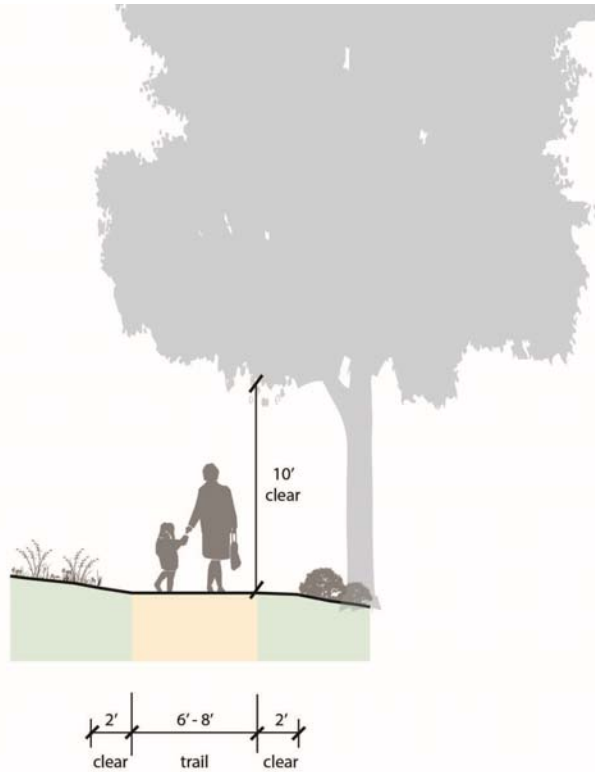


Figure 4C – Neighborhood trail typical section.



4.2 Additional Trail Type Design Standards

Trails of each classification traverse many types of environments and contexts. The standards below in Table 4B provide guidance for some common trail types, based on site context.

Table 4B – Additional Trail Type Design Matrix.

Type	Function	Materials	Width	Vertical Clearance*	Horizontal Clearance**
Combined Trail and Sidewalk	Provides route options for both bicyclists and pedestrians outside of existing roadway corridors	Paved (asphalt or concrete)	12 feet (sidewalk and trail)	10 feet (from top of trail)	2 feet (from edge of trail)
Trail Adjacent to a Road or Sidewalk	Separated route within a transportation corridor	Paved	Regional Trail: 12 feet, Community: 10 feet	Vertical curb between trail and roadway; 10 feet (from top of trail)	4 feet landscape buffer between trail and roadway/sidewalk; 4 feet (from edge of trail) - non-landscape buffer side)
Trail in a Greenway	Provides route for both pedestrians and bicyclists using riparian corridors and/or wetland areas	Paved or unpaved	6-8 feet; should include a vegetated buffer zone from adjacent water bodies.	10 feet (from top of trail)	2 feet (from edge of trail)

**area above the trail free from obstructions such as tree limbs or branches*

***area on both sides of trail free from obstructions such as shrubs and trees*

Any new or improved sidewalks should adhere to the requirements of the City of Beaverton or Washington County, as appropriate. The district should partner with both agencies as road improvements are being planned along trail corridors to help ensure bicycle and pedestrian needs are adequately met.

4.2.1 Combined Trail and Sidewalk

Shared use paths are completely separated from motorized vehicular traffic and are constructed in the public right of way, within a green space area, public utility corridor or other public access area. Combined sidewalks and trails are generally located adjacent to roadways within the public right of way. They may be separated from the curb by a landscape buffer or they may be “curb-tight,” connected to the curb.

Trail design standards for these types of facilities are described in the table above. Additional consideration should also be given to enhancing the user experience and safety for both bicycles and pedestrians, including the use of striping, landscaping, clear sight lines and other design considerations described later in this section. Figures 4D and 4E illustrate typical cross-sections for these two trail types.

Figure 4D – Combined trail and sidewalk typical section.

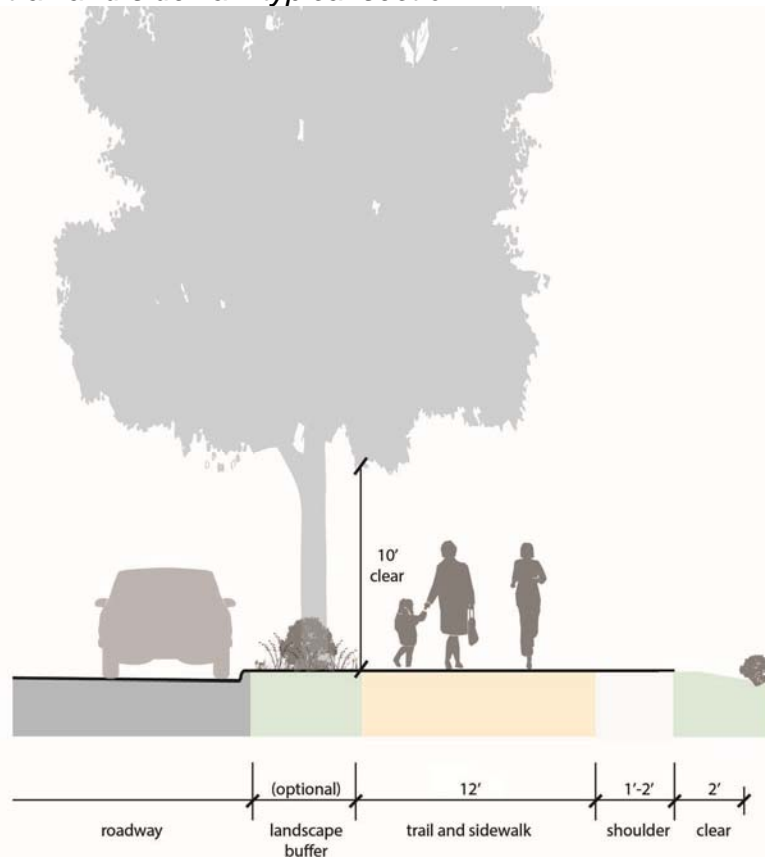
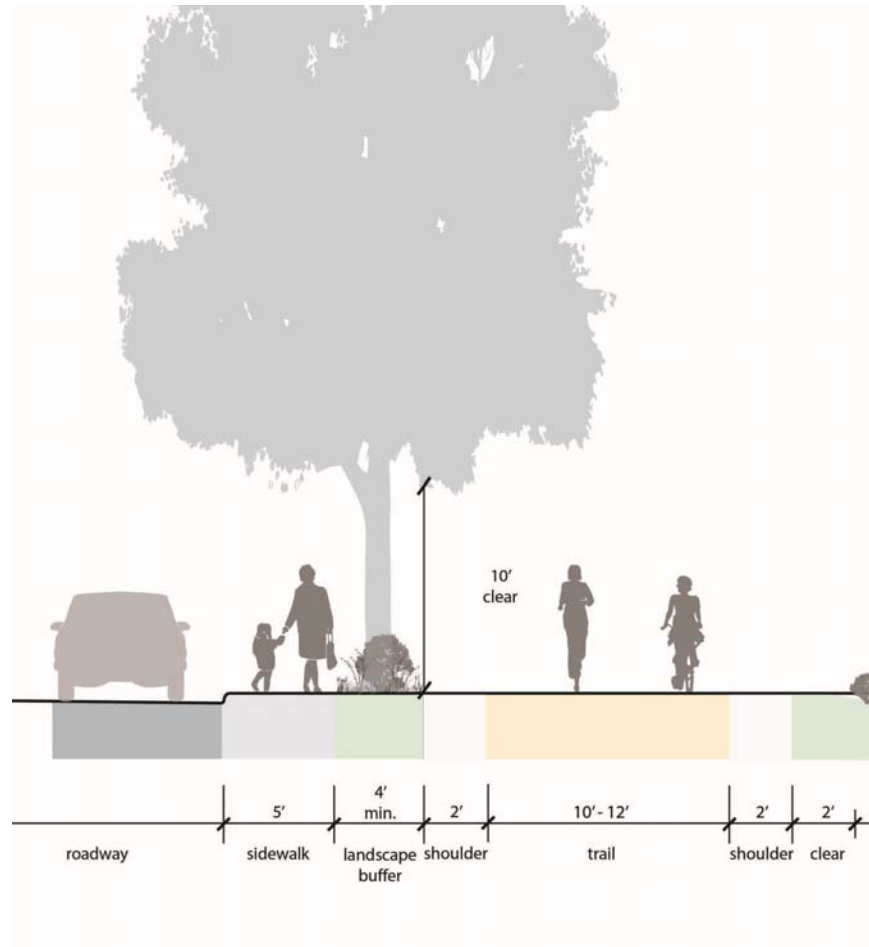


Figure 4E – Trail adjacent to a roadway, trail typical section.



4.2.2 Trails within Greenways

Due to much of the district’s service area being urbanized, limited opportunities are available to develop new off-street trails. Much of the district’s remaining (to be constructed) regional and community trail system is located within environmentally sensitive areas, such as creek corridors and greenways. Greenways are defined as follows:

Greenways are linear natural spaces that follow creeks and streams. Some greenways provide public access with environmentally compatible trails, viewpoints, or watercraft launch sites. Other greenways prioritize wildlife habitat protection and do not allow any public access. (Metro, Regional Trails and Greenways Plan)

Greenways offer substantial recreational and green space preservation opportunities. When planning for a trail along or in a greenway, a balance must be provided between the protection of natural resources and the public’s desire for access to natural resource areas. Trails within greenways should be studied to identify impacts to natural resource areas, stormwater, flora and fauna, and flood levels as well as recreational and transportation benefits for district residents.

As mentioned previously in this TFP, the trail system map (Figure 3C) highlights study areas where trails are planned to be located along or within creek corridors. This includes trails such as Beaverton Creek, Bronson Creek, Willow Creek and others. Section 3.2.3 outlines the process of how these study areas will be evaluated using both trail prioritization criteria outlined in this plan and the site development suitability criteria outlined in the district's NRFP.

The following principles provide some general environmental considerations for trail development within greenways:

- Consider
 - Alignments to minimize the number of stream crossings
 - Circulation and/or migration of local fauna
 - Impact of on-site vs. off-site mitigation
 - Opportunities for the restoration of poor water quality, habitat areas and/or stream edges
 - Interpretive or educational elements to highlight local features, flora and fauna
 - Use of concrete as a surface treatment option for trails in greenway due to its durability and lower maintenance requirements
 - Natural dispersed infiltration systems such as vegetated swales or infiltration strips to manage stormwater
 - Construction materials with little to no toxicity (see <http://www.pharosproject.net>)

- Avoid
 - Fragmentation of small habitats
 - Wetlands whenever possible, but if necessary span at the narrowest point
 - Constructing trails that may be more prone to erosion and maintenance upkeep over time
 - Use of pervious paving in floodplain areas or areas without proper drainage due to sedimentation and higher maintenance requirements

- Maintain buffer zones (vegetated corridors) from creeks, streams and sensitive bodies of water per Clean Water Services standards

4.3 Design Exceptions

The design standards and guidelines outlined in this section are the district's best practices and basis for design of all planned trails. However, trail development requires consideration of the local context, project site conditions, the environment and jurisdictional requirements.

During the master planning and design development process, the district will consider alternatives to the standard width dimensions, turning radii, surface treatments and other elements when justification is provided to address the following factors:

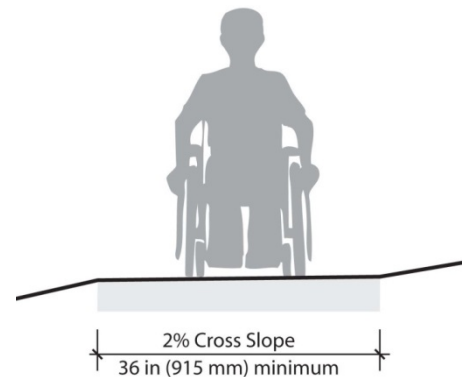
- User safety
- Avoidance of and/or minimizing environmental impact
- Consideration of topography
- Demand and anticipated level of use
- Cost
- Regional or local jurisdictional guidance, such as Metro’s Active Transportation Plan

Generally, trail widths less than the standard are only to be used over short distances, such as around utility poles, bridge abutments, significant trees or in sensitive natural resource areas. Trail widths greater than the standard width may also be considered in high use areas, such as near commercial centers, transit, schools and recreation facilities. Design exceptions may require approval by the district’s management team.

4.4 Accessibility

4.4.1 ADA

The Americans with Disabilities Act (ADA) was established to prohibit discrimination on the basis of disability by public accommodations and requires places of public accommodation and commercial facilities to be designed, constructed and altered in compliance with the accessibility standards established by the ADA. As new trails are developed and existing trails are enhanced, the district will work in meeting ADA requirements to ensure access for all.



4.4.2 ADAAG

The United States Access Board has approved the Americans with Disabilities Act Accessibility Guidelines (ADAAG) for trails and outdoor recreational access routes. However, some trails may have limitations that make meeting ADAAG guidelines difficult or prohibitive. Prohibitive impacts include harm to significant cultural or natural resources, requirements of construction methods that are against federal, state or local regulations, or terrain characteristics that prevent compliance.

Some key ADAAG guidance considerations include:

- Use of firm and stable surfaces, such as asphalt, concrete, wood, recycled plastic lumber or compacted gravel, wherever universal accessibility is a consideration
- Provide clear tread width a minimum of 3 feet

- Provide a 5 foot wide passing space at a minimum of every 1,000 feet when the trail width is less than 5 feet wide
- Avoid surface obstacles more than one-half inch high, or 2 inches high when the surface is other than asphalt, concrete wood or recycled plastic lumber
- Avoid a cross slope more than 2%, or 5% where the surface is not asphalt, concrete, wood or recycled plastic lumber when necessary for drainage
- Longitudinal slope must meet one or more of the following conditions shown in Table 4C
- Provide detectable surface changes at curb ramp approaches from roadways or parking areas
- Provide one accessible parking space per every 25 vehicle spaces at trailheads
- No more than 30% of the total trail length may exceed a running slope of 8.33%

Table 4C – Maximum Running Slope and Length.

Running Slope		Maximum Length of Segment
Steeper than	But no more steep than	
1 : 0 (0%)	1 : 20 (5%)	No Limit
1 : 20 (5%)	1 : 12 (8.33%)	200 feet
1 : 12 (8.33%)	1 : 10 (10%)	30 feet
1 : 10 (10%)	1 : 8 (12%)	10 feet

ADA Accessibility Guidelines (ADAAG), ADA Standards, <https://www.access-board.gov/guidelines-and-standards/buildings-and-sites/about-the-ada-standards/background/adaag>

4.5 Regulatory

4.5.1 Oregon Department of Transportation (ODOT)

ODOT has adopted the American Association of State Highway and Transportation Officials (AASHTO) Guide for the Development of Bicycle Facilities for trail design standards. The AASHTO guide should be consulted for geometric design standards such as and horizontal and vertical curves, and sight-distance. This is especially important for those trails serving a transportation function, such as regional trails. Any trail projects receiving federal funding assistance will be required to meet ODOT standards in its design and development.

4.5.2 American Association of State Highway and Transportation Officials (AASHTO)

The AASHTO Guide for the Development of Bicycle Facilities generally recommends against the development of trails along roadways. These facilities create a situation where a portion of the bicycle traffic rides against the normal flow of motor vehicle traffic and can result in wrong-way riding when either entering or exiting the trail. As mentioned above, AASHTO provides guidance for the geometric design of trail design and construction. These standards should be considered for all trail projects and are required to be met for all federally funded trail projects.

4.5.3 Manual of Uniform Traffic Control Devices (MUTCD)

The MUTCD regulates the design and use of all traffic control devices including signs and pavement markings. A summary of the MUTCD guidance for trails and bicycles includes the following:

- Use of a solid yellow line when passing is discouraged
- Use of a dashed yellow line when passing is permitted due to adequate conditions
- Use of striping in areas of restricted sight-distance, substandard trail width, high traffic areas, intersection approaches and/or where night time riding is expected with limited lighting
- Avoid over-striping trails in order to maintain effectiveness for trail user safety purposes
- Any transportation related signage (regulatory, caution, directional, etc.) visible from roadways or other public right of way must meet MUTCD standards

Please note that the district's Trails Management Program contains more detailed information related to MUTCD guidance and how the district puts this guidance into practice along the trails system.

4.5.4 Utilities

Many types of utilities, such as water, gas, electric and others offer good opportunities for trail co-location. Recreational and utility co-use has some complications, including the unique needs of the utility company or public agency. However, with strategic maintenance and land agreements, utilities can have a minimal effect on trail users. Additionally, utility companies usually benefit by having an uninterrupted and easily accessible route to their utility service.

Each utility has specific requirements regarding trail routing, alignment, setbacks, loading, landscaping and other factors. For each project all utilities should be coordinated with to ensure current requirements are being used as well as to better understand utility maintenance schedules and servicing needs, including frequency and vehicle/equipment requirements. Limitations may be placed on trail surfacing materials and location of structures, such as bridges and boardwalks, depending on utility type and location.

The district works with the following utility providers on many of its trail projects:

- Bonneville Power Administration (BPA)
- Portland General Electric Company (PGE)
- Northwest Natural Gas (NWN)
- Tualatin Valley Water District (TVWD)
- Clean Water Services (CWS)
- City of Beaverton
- City of Portland

4.5.5 Railroad / TriMet

As with utilities, some of the district's trails are, or will be, located in right of way owned by Union Pacific Railroad and operated by Portland & Western Railroad or owned and operated by TriMet. As such, coordination with each of these agencies is needed to ensure their respective requirements are being met. Because most of these are live railroad right of ways, additional safe guards must be considered when design and constructing trails. This includes consideration of the following:

- Use of fencing and/or other separation techniques should be part of the trail design when adjacent to railroad tracks
- Maximize the setback between the trail and the railroad tracks to the greatest extent possible; subject to railroad, federal, state and regional guidelines

4.6 Surfacing

When determining surface type for THPRD trails, consider topography, landscape context, underlying soils, trail type and classification. Asphalt is the preferred standard for all regional and community trail surfacing, but alternative trail surfacing may be allowed with a design exception. All surfaces have advantages and disadvantages, and each must be analyzed to determine which surface is most appropriate in any given location.

4.6.1 Impervious

Traditionally, asphalt and concrete are the most commonly used materials for trails because they last the longest, meet ADA and ADAAG requirements and meet the needs of most users.

Other possible trail surfacing options include:

- Commercial soil stabilizers
- Geotextile confinement systems
- Crusher fines
- Limestone treated surfaces
- Recycled plastic or wood decking

Surfacing options for bridges and boardwalks are identified in Section 3.3.8.

In arriving at a recommended trail surface, the following should be considered:

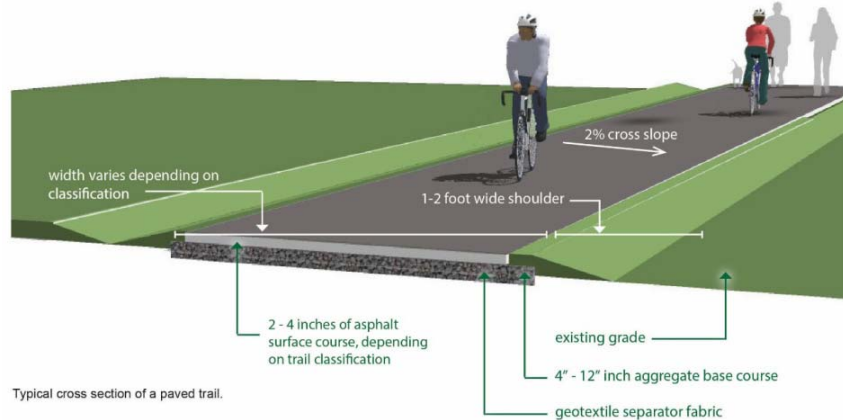
- Initial capital cost and funding
- Long-term maintenance costs
- Surfacing durability and longevity
- Existing soil and environmental conditions
- Availability of materials
- Anticipated trail use/functionality
- Aesthetics

ADA and ADAAG-compliant trails require paved surfaces, in most instances, for access and ease of use. In limited cases, packed gravel fines can be used, where there is little to no topography. However, packed surfaces require much more maintenance effort and cost over time, and may not be desirable in the long term.

Asphalt. Asphalt trails offer substantial durability for the cost of installation and maintenance. Asphalt is popular with users for its smooth, continuous surface and has the benefit of lower cost, but requires more upkeep in comparison to concrete. As a flexible pavement, asphalt can also be considered for installing as a paved trail in a greenway or with grades steeper than three percent. If constructed properly on suitable sub-grade, asphalt has a life span of ten to 15 years. The use of asphalt for trails is the district’s preferred standard.

Figure 4F – Typical asphalt trail cross-section.

Note: Use of geotextile fabric is optional depending on site conditions.



Concrete. When cost allows, concrete is recommended because of its durability, longevity and lower maintenance requirements. Concrete is especially good in areas prone to frequent flooding, such as greenways. However, the hardness and jarring effect of this surface is not preferred by runners or cyclists. Concrete joints that are saw-cut rather than tooled tend to improve trail user experience. If constructed properly on suitable sub-grade, concrete has a life span of approximately 25 to 30 years.

4.6.2 Pervious / Permeable

The use of permeable paving when feasible supports the district’s sustainability policy and has a number of positive environmental impacts, include lower storm water runoff and greater water infiltration rates. However, permeable paving is generally twice the cost of impervious materials to install and is recommended when site conditions are conducive to its use. As

permeable paving continues to evolve and improve, the district will continue to evaluate its potential use in the trail system. The following should be considered for its use:

- Conduct a feasibility study to determine site conditions and soil type
- Environmental factors, such as the proximity to tree canopies or soil debris
- Establishment of a regular and routine maintenance schedule to retain permeability, access for vacuuming debris and cleaning equipment, especially after storm events
- Areas with proper drainage (not suitable in floodplain or areas with ponding or sedimentation)

4.6.3 Soft Surface

For purposes of this plan, natural surface trails are limited to bare earth (soil), gravel or crushed rock. Additional information about soft surface trails can be found in the district's PFP. When using crushed rock or gravel, trails in greenways benefit from screenings that contain about 4% fines by weight to compact and stabilize the trail's surfacing over time. However, an alternative surface should be considered when designing in flood-prone areas or steep terrain.

When using soft surface trails:

- Provide constant positive drainage to avoid ponding
- Bench cut trail into slope without extensive removal of existing vegetation; build grade reversals and out-sloped elevations to encourage sheet flow across the trail
- Design small-scale stormwater facilities along the trail to minimize erosion
- Provide a longitudinal slope of 5% and a cross slope of 2%
- Keep the trail available for year round use

4.7 Amenities

Amenities help distinguish district trails from others and help to enhance the trail user experience. This includes features such as site furnishings, bollards, signage, striping and fencing. It should be noted, however, that these amenities will not always be found along all district trails due to site constraints, trail classification, anticipated trail use and other factors. The following design guidelines for typical district trail amenities are intended as a tool for decision-making purposes related to new trail design or the enhancement of existing substandard trails.

4.7.1 Site Furnishings

Although district trails are regularly maintained and monitored, it is advisable to use vandal resistant construction and materials whenever possible. Site furnishings typical to district trails are highlighted as follows:

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- Seating
 - May include benches, seat walls, boulders, logs or other built features
 - Typically located at trailheads, mid-block crossings, wildlife or natural area viewing locations and other areas of interest
 - Provide adequate space for strollers and wheelchairs in a manner that does not impede trail use
 - Seat walls shall include skate deterrents as appropriate
- Trash receptacles
 - Preferably located at trailheads and mid-block crossings; may be considered near wildlife/natural area viewing locations if high use is anticipated
 - Should not be located directly adjacent to benches and seating areas
 - Should be located for ease of maintenance service and access
- Bike racks
 - Typically located at parks along trail corridors, trailheads and where restrooms are located
 - Should be located in a manner that does not impede trail use
- Drinking fountains and port-a-potties
 - Preferably located at trailheads and parks along trail corridors; may also be considered near mid-block crossings if other locations are too far away
 - New drinking foundations should include pet bowl and jug filler options
 - Consider locations for ease of maintenance service and access
- Doggie bag dispensers
 - Typically located at trailheads, mid-block crossings and near trash receptacles
 - Mount on post with rules sign or on other surface as appropriate
- Kiosks
 - Typically located at major trailheads or trail intersections
 - Design adjacent to the trail near other site furnishings, such as a bench or trash receptacle

- Artwork
 - Should be considered in the overall design of a trail project, as appropriate, and can be incorporated as part of the site furnishings (benches, bike racks, kiosks, etc.); as trail elements (bridge, boardwalk, walls, etc.); as stand-alone features (sculpture, mural, etc.); or as educational features (interpretive elements, environmental features, etc.)
 - Consider using local artists to provide works that make the trail network uniquely distinct and representative of the district's character

4.7.2 Bollards

The use of bollards along district trails is intended to discourage motorized modes from using them. They are also used to distinguish district trails from trails provided by other public agencies (like school districts or cities) and private groups (like homeowner associations or golf/athletic clubs). The types of bollards used by the district and their unique characteristics are highlighted as follows:

- May include permanent, removable, collapsible or other site elements, such as boulders or logs
- Typically located at trailheads, mid-block crossings, maintenance access points and any other access point where vehicles may access the trail
- Bollards are generally installed in groups of:
 - Two with removable or collapsible bollards
 - Three with two permanent bollards and one removable or collapsible bollard
- Bollards are typically yellow in color and should consider the use of reflective tape
- Permanent
 - Typically used on regional and community trails
 - Locate in the gravel shoulder; where no shoulder exists, should be located 1-2 feet from edge of trail
- Removable / Collapsible
 - Typically used on regional, community and neighborhood trails
 - Located at trail centerline when used with permanent bollards on regional and community trails
 - Locate at trail centerline when natural features create side barriers for neighborhood trails

- Boulders / Logs
 - Typically located along street frontages at mid-block crossings, trailheads with parking areas and other potential unauthorized vehicle access points
 - Often used in combination with bollards, especially if boulders are available on site or from another project
 - Space uniformly to discourage vehicle entry but still allow for mowing and smaller sized maintenance equipment

4.7.3 Signage

All signage proposed along trails shall adhere to the district's approved Signage Master Plan. All signs visible from the public right of way must conform to MUTCD standards and guidelines, especially those signs that are directional and regulatory in nature. The district is also a partner in Metros Intertwine Regional Trails Program, which provides guidance for identification and wayfinding signage for the interconnectedness of regionally significant trails, parks, natural areas and green spaces of the greater metropolitan area. The following list represents signage most commonly found throughout the district's trail system. Table 4D provides guidance for locating these typical sign types found along trails.

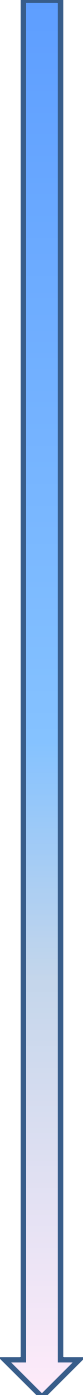
- Site Identification – Type A Sign Family
- Trailhead Identification – Type D Sign Family
- Regulatory – Type R Sign Family
- Directional and Safety – Type T Sign Family

- Identification
 - Signs may include the Intertwine designation per Metros Intertwine Regional Trails Signage Guidelines

- Regulatory
 - Typically includes the R1 sign type at all trail sites, although other regulatory signs may be applicable
 - R1 signs are typically located at all trailheads, mid-block crossings and all other trail entries and can be combined with A3 signs and doggie bag dispensers as appropriate
 - Any other regulatory sign types are to be located at the appropriate location(s) within a trail corridor
 - Follow AASHTO and MUTCD guidelines for signs at mid-block crossings and trail intersections

- Directional and Safety
 - Follow Metros Intertwine Regional Trails Signage Guidelines

Table 4D – Trail Signage Locational Guidelines.

Level of Visibility (High to Low)	Sign Type	Type of Location	Site Placement	Comments
	Large ID Sign: A2	Oriented towards automobile driver	Main entrance OR prominent road location	Arterial street
	Standard ID Sign: A1	Oriented towards automobile driver	Main entrance OR prominent road location	Minor collector OR neighborhood street
	Trail ID Sign w/ map: D2	Major pedestrian entry point/trailhead/existing park (ex: light rail station, parking lot)	On right side of trail	Requires orientation map
	Trail ID Sign: D1	Regular pedestrian entrance off arterial street	On right side of trail at a minimum of 10 feet inside trail OR at the apex of the "T" intersection if appropriate	Include directional strips with distance to prominent feature or trail connection
	Small ID/Rules Sign: A3/R1	At minor entry points, including street crossings	On right side of trail	Rules must be displayed at all entry points
	Trail Connection: T3	Where patron must exit trail and use on-street/sidewalk routes to close a gap in trail	On right side of exiting trail.	Requires connection map
	Pedestrian Directional: T5	Major directional at an internal trail intersection OR split	Placed at the apex of the "T" or "V" intersection	
	Trail Directional: T1	Minor directional at an internal trail intersection OR split	Placed at the apex of the "T" or "V" intersection	Visible/useful for users coming from different directions
	Trail Crossing: T4	Where trail makes direct connection across the street	On right side of trail where patrons cross	Must meet MUTCD standards

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- Educational
 - Typically includes interpretive signage, although other signage may be applicable
 - Interpretive signs are typically used when unique site features or educational characteristics exist; any such signage must adhere to the district's interpretive signage program as administered by its Natural Resources & Trail Management department

4.7.4 Striping

The use of striping is based on the district's Trails Management Program. However, trail projects that are federally funded will be required to follow AASHTO and MUTCD guidelines. The intent of the district's striping protocol of trails is to promote trail user safety by mitigating substandard trail conditions such as trail narrowing, limited sight-distance or sharp curves. It is not THPRD's intent to stripe all the trails throughout the district.

4.7.5 Fencing / Railing

Fences or railings along trails may be needed to prevent access to/from high-speed roadways or to provide protection along steep side slopes and waterways. Fences should only be used where they are needed for safety reasons. They should be placed as far away from the trail as possible; with a minimum offset of two feet. Many of these principles apply to cut-sections of trail where retaining walls are required: minimum two feet offset, with a rub-rail whenever possible. Whenever fencing or railing is used in a trail corridor, the following fencing types should be considered:

- General considerations
 - The district does not install fencing for property owners; in instances where it is required, the district shall place such fencing on the property owner side of the property line and the property owner is responsible for fencing after installation
 - The district does not install fencing to delineate natural area boundaries unless deemed necessary by the Natural Resources & Trail Management department
 - Fencing should be located within a mow strip as deemed necessary by the Maintenance Operations department regardless of fencing type

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- Split-rail
 - Preferably used for site boundaries, natural areas and safety; it is the district's preferred fencing type in most situations where delineation between activities or uses is needed
 - When used for site boundaries, fencing should be placed on district side of the property line for ease of maintenance
 - Generally 3-4 feet tall, having two rails; fences having three rails are considered "heavy duty"
 - Consider along trails having steep downhill slopes or at top of retaining walls
 - Locate within a bark mulch mow strip as appropriate
- Chain-link
 - May used for site boundaries and safety
 - Generally 3-6 feet tall depending on situation
 - May be galvanized or vinyl-coated depending on location; where vinyl-coating is needed, it should be black
 - Consider use of privacy slats as appropriate
- Welded wire or field fencing
 - Typically used for natural areas
 - Generally 2-5 feet tall
 - Consider along natural areas where access by park users are not desired, such as mitigation or restoration areas
 - Generally used on a temporary basis
- Ornamental / Decorative
 - Ornamental or decorative fencing may be considered in those instances where a higher level of design is desired, such as main trailheads located at parks or other district facilities
- Safety railing
 - Typically used along boardwalks, top of retaining walls and steep slopes where the trail surface is 30 inches or more above ground surface
 - Minimum height of 42 inches
 - Openings in the railing must not exceed 4 inches in width
 - Where a cyclist's handlebar may come into contact with a fence or barrier, a smooth, 12 inch wide rub-rail should be installed at a height of three feet

4.7.6 Landscaping

Generally THPRD does not design or install landscaping as part of a trail project unless it relates to mitigation. However, in some situations trail projects and residential developments are combined that require aesthetic landscaping. Use of native and drought tolerant species should be considered whenever possible, especially in locations where irrigation is not provided.

- Locations
 - Typically located at trailheads and where separation is needed between the trail and other uses, such as roadways, sidewalks and pathways
 - Shall include native and drought tolerant plant species as appropriate, but may include ornamental plant species where irrigation is available
 - Trees to be planted no closer than 10 feet from the edge of trail surfacing
 - Shrubs to be planted no closer than 5 feet from the edge of trail surfacing
 - Groundcovers and grasses to be planted no closer than 3 feet from the edge of trail surfacing
 - Existing landscaping and trees must be protected and incorporated into trail development/enhancement whenever possible

- Ornamental grasses
 - Generally require minimal maintenance once established and are typically used in landscape buffers separating the trail from roadways and sidewalks

- Groundcovers
 - Generally require minimal maintenance once established and are typically used in landscape buffers separating the trail from roadways and sidewalks.
 - Typically used in areas where turf grass is not appropriate, such as on steep slopes, and landscape buffers separating the trail from roadways, or sidewalks.

- Shrubs
 - Consider native plant species along park boundaries, natural areas and other locations where buffers are needed

- Trees
 - Avoid the use of trees having excessive litter and debris
 - Consider a tree's ultimate size and growth habit to ensure proper placement for trail designs
 - Consider using root barrier in areas where existing trees are located closer than 10 feet to the edge of trail and/or when a large number of trees will be planted
 - Refer to the local jurisdiction street tree guidelines for trees to be planted along trails, sidewalks or rights of way

- Low maintenance guidelines
 - Avoid the use of plant species that produce excessive litter and debris, such as fruit, pods or cones
 - Avoid the use of plant species susceptible to wood rot, disease or limb breakage (“weak wooded”) in areas of high trail use
 - Avoid siting plant species that overhang trails or have root systems that could impact trail surfaces

4.8 Bridges and Boardwalks

Bridges and boardwalks are structures that span over sensitive natural areas or inundated waterways to limit potential environmental impact. They are typically used when crossing small creeks and wetlands. Boardwalks range in length and can span as little as 10 feet or stretch for longer distances depending on site conditions. Bridges are used where greater lengths are required to span sensitive areas or when the objective is to reduce impacts to the floodplain.

Figure 4G – Typical bridge/boardwalk cross-section.



Bridges and boardwalks are commonly constructed of wood, steel or concrete with recycled plastic components. Wood is the most cost effective, versatile and relatively easy to install. Special consideration must be taken when using pressure treated lumber over waterways. While steel is a more expensive option, it can be purchased as a prefabricated kit, and can expand extensive lengths where other materials cannot. Modular concrete boardwalk systems are gaining popularity due to their low-impact installation methods and durability within wet areas. Recycled plastic is popular for its material durability, but is typically limited to non-bearing uses such as decking and handrails. Bridge and boardwalk designs must consider the intended use and be built from materials that is aesthetically and structurally appropriate.

4.8.1 Boardwalks

General considerations for the use of boardwalks include:

- Clear span width must be a minimum of 14 feet for regional trails and 12 feet for community trails. Wider widths are preferred in areas with higher anticipated use and whenever railings are used
- Use of a 6 inch curb rail is recommended. A 42 inch guardrail is required at locations where there is a 30 inch or greater elevation difference in the boardwalk surface and the ground/water surface below
- Design to structurally support 5 tons of capacity depending on emergency vehicle access and maintenance requirements
- Evaluate footing types to include uplift as well as loading consideration for flood events.
- Consult a structural engineer for member sizing, headwall and post footing design
- Give careful consideration to selection of decking material to minimize slippery conditions (see Table 3J below)
- Follow all local, state and federal permitting requirements where boardwalks are located within wetlands; construction in wetlands is subject to jurisdictional regulations

4.8.2 Bridges

Bridges are most often used to provide user access over natural features such as streams, creeks and wetlands, where a boardwalk is not an option. The type and size of bridges can vary widely depending on the trail location, site conditions and jurisdictional requirements.

The biggest factor in determining the width and load capacity for trail bridges, as well as boardwalks, is the project requirements and the maintenance program, including emergency/security access. A developed site and maintenance access determines trail widths and bridge/boardwalk capacity. The funding source is also a determining factor, since federally-funded trails must adhere to the most stringent design standards.

Below is a list of general guidelines for the design of bridges for future trail projects. Many of these considerations are also applicable to design of boardwalks.

- When constructing a federally funded project, design criteria for the width of bridges are established by AASHTO
 - Standard width: 14 feet, unless a design exception is granted
 - Standard for a 'live load' for pedestrian and bicycle bridges: 85 psf (pound per square foot), plus any additional vehicle loading when used by maintenance or emergency/security vehicles
 - For bridges greater than 10 feet wide, the vehicular design load is for an HS10 truck
 - Bridges must also be designed to resist lateral forces from wind and earthquake as described by AAHSTO

- Projects funded from other sources:
 - Bridge width for regional and community trails: 2 feet wider than the paved trail approaching the structure
 - In special situations, a design exception is required in order to allow the width of a bridge to match the width of the trail connecting to it. Refer to Section 3.3.3 above for additional information about design exceptions
- Vehicle-rated bridges will only be specified when they are justified for maintenance, emergency or security access. The justification will be dependent on the site and maintenance program. If determined to be used for vehicle access, a bridge should generally be able to support the weight of a light duty emergency vehicle
- A goal of the district is to reduce, restrict and limit the need for maintenance vehicle access over bridges by placing trash receptacles and other 'high maintenance' site amenities close to the main access points
- If maintenance or emergency/security staff need access to a site's interior, make sure the trail intersections have wide radii and gentle turning movements; i.e., no 90 degree turns or 'T' intersections
- Provide a minimum of one 8 foot wide trail to one end of a bridge or boardwalk for routine maintenance
- If site amenities or structures are in a site's interior and will require vehicle access for routine maintenance (e.g., play equipment, shelter, bridge/boardwalk, sport court, etc.) then a trail with adequate width and proper load capacity must be provided
- Adjust maintenance service delivery measures and design the site to reduce vehicle trips or access into the site's interior
- Some sites may have reduced trail widths or surfacing modifications to meet the intent of the NRFP, which calls on staff to: "Plan, provide and manage appropriate maintenance access routes, where required, that minimize impacts to natural resource areas by designing them with minimal impervious surfaces and widths."

4.8.3 Materials

The district has traditionally used natural wood for its bridges and boardwalks. Over the past several years, the use of recycled plastic lumber has been used in an effort to be more sustainable. Other materials may also prove to be useful, depending on site conditions, costs

and other factors. The following matrix in Table 3J can be used to determine an appropriate surfacing treatment based on a variety of site characteristics. Please note that the following should also be used when determining surfacing materials for stairs or overlooks.

Table 4E. Bridge / Boardwalk Surfacing Matrix.

		Trail Conditions (3 = Better Suited / 1 = Lesser Suited)								
Trail Surfacing		Shaded Conditions	Sun Conditions	Vehicle Access	Active Use (jog/ bike)	ADA	Cost	Ease of Maintenance	Wetlands/ Water	Durability/ Sustainability
	IPE	1	3	TBD	1	3	1	3	3	3
	Treated Wood	2	2	2	2	3	3	2	1	2
	American Plastic Lumber	2	2	1	3	3	2	2	3	2
	Fiberglass Grating	3	2	1	2	2	1	3	3	2
	Metal Grating	3	3	1	2	2	1	3	3	2
	Concrete Slab	TBD								

As new and/or improved surfacing options become available, they should be evaluated in the same manner described in Table 3J. Consult the district’s sustainability policy prior to making decisions about surfacing materials.

4.9 Mid-Block Crossings

The following provides design guidance for roadway intersection treatments. The guidelines presented in this plan represent conceptual recommendations. Specific roadway intersection treatments will be based on further engineering analysis conducted by a registered engineer and review by the respective jurisdictional agency (City of Beaverton or Washington County).

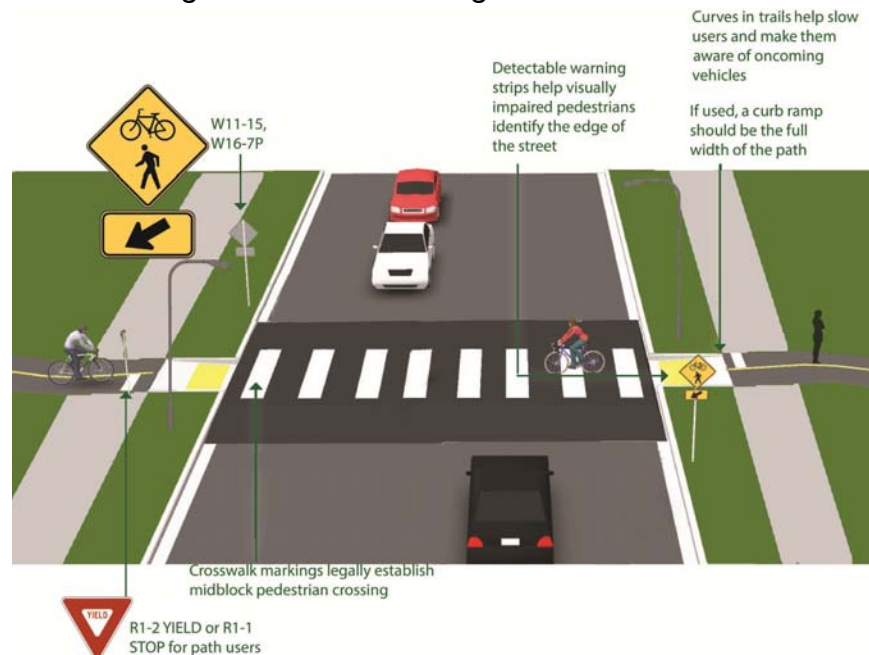
The approach to designing crossings at mid-block locations depends on an evaluation of vehicular traffic, line of sight, trail traffic, use patterns, vehicle speed, road type, road width and other safety issues such as proximity to major attractions. When space is available, use of a median refuge island can improve user safety by providing pedestrians and bicyclists the space to perform a safe crossing.

Regardless of whether a mid-block crossing is non-signalized or signalized, the crossing should do the following:

- Be a safe distance (based on travel speeds and sight lines) from adjacent intersections and not interfere (or be interfered) with vehicle traffic flow
- Be located on flat topography to increase motorist visibility of the trail crossing
- Be as close to perpendicular (90 degrees) to the roadway as possible
- Use signage and striping to warn trail users of the upcoming roadway is strongly recommended
- Maintain clear sight lines between trail users and motorists by clearing or trimming vegetation obstructions
- Provide a center median refuge if the crossing is more than 75 feet from curb to curb or as directed by the agency with jurisdiction

When a proposed trail mid-block crossing is within approximately 300 feet of an existing signalized pedestrian crosswalk, the trail should be routed to it. This will avoid potential traffic signal operation problems and reduce motorist confusion. For this alignment to be effective, barriers, signage or offset trail alignments may be needed to direct trail users to the signalized crossing. If no pedestrian crossing exists at the signal, modifications may be required to accommodate a safe crossing.

Figure 4H – Mid-block non-signalized trail crossing of a local/residential street.



4.9.1 Non-Signalized Crossings

Non-signalized crossings are most likely to occur at local/neighborhood roadways and some collector roadways. Non-signalized crossings may be appropriate when maximum traffic

volumes are less than 9,000-12,000 ADT (average daily traffic) vehicles and maximum travel speed is 35 MPH (miles per hour). Non-signalized crossings may be appropriate with traffic volumes up to 15,000 ADT on two-lane roads and up to 12,000 ADT on four-lane roads, if a median refuge island is provided in both scenarios.

Typical treatments at these crossings include:

- Continental striping, if allowed by the agency with road jurisdiction
- Signage
- Sidewalk improvements, such as ADA transitional ramps
- Vehicle bollards at trail access points
- Street lighting
- Median refuge islands if appropriate
- Speed hump or raised crosswalk on roadways with low to moderate traffic volumes (under 12,000 ADT) and a need to control traffic speeds

Trail design features that may be used to warn trail users of an upcoming roadway crossing may include the following:

- Curves in the trail to help slow trail users and raise awareness of oncoming vehicles
- Detectable warning strips help visually impaired pedestrians identify the edge of the street
- Signage

4.9.2 Signalized Intersections

Signalized crossings are most likely to occur at arterial roadways and some collector roadways. There are different scales of signalization, depending on traffic capacity, speed and trail user volume.

A signalized intersection should include all of the same treatments as a non-signalized crossing, plus the addition of a traffic control device. The addition of a traffic control device, such as a traffic signal or flashing beacon, provides increased protection for trail users.

Typical traffic control devices used by the district, as approved by the City of Beaverton or Washington County, include the following:

- Rectangular Rapid Flashing Beacons (RRFB) act as lit warning devices to supplement the trail crossing warning signs at uncontrolled approaches

- Pedestrian Activated Hybrid Beacons (also known as HAWK signals) alert motorists to stop when trail users are crossing mid-block. When not activated, the signal is dark. When activated, the overhead signal begins flashing yellow, followed by solid yellow, advising motorists to prepare to stop. The signal then displays two solid reds allowing bicyclists and pedestrians to safely cross. Finally, an alternating flashing red signal indicates that motorists may proceed when safe, after coming to a full stop.
- Full Traffic Signal is a typical traffic signal with a green light always shown. When activated by a bicyclist or pedestrian, the light changes to yellow, then red; allowing the user to safely cross with a “Walk” indicator. Full traffic signal installations must meet MUTCD pedestrian standards for schools or modified warrants, which include: being located where a shared use path intersects with a high volume, high speed roadway, with traffic volumes exceeding 15,000 ADT and vehicle speeds exceeding 40 MPH.

Unlike non-signalized crossings of local or residential street, each signalized crossing (regardless of traffic speed or volume) requires additional review by a registered engineer and the agency having jurisdiction of the roadway to identify sight lines, potential impacts on traffic progression, timing with adjacent signals, capacity and safety.

4.9.3 Grade-Separated Crossings

Grade-separated crossings may be appropriate where a path intersects with a high volume, high speed roadway, with traffic volumes exceeding 25,000 ADT and vehicle speeds exceeding 45 MPH. Due to considerable cost and complexity of design, grade separated crossings are limited to unique situations and usually in partnership with a local jurisdiction.

Typical grade-separated crossings include:

- Undercrossing
- Overcrossing

Safety and ADA accessibility is a foremost concern with both types of crossings. In undercrossing situations, the trail user may be temporarily out of sight from public view or experience and environment with poor visibility. To ensure safety and security concerns are met, both types of crossings must be spacious, well-lit and visible to public view. Flooding and/or standing water may also pose a problem for undercrossings requiring the need for periodic cleaning and/or draining (especially after storm events for those undercrossings that may be located within greenways).

4.10 Risk, Safety and Security

4.10.1 Crime Prevention Through Environmental Design (CPTED)

Along with the desire of creating well-designed trails for its residents, the district is also intent on ensuring the safety and security of its trails and facilities. To help make this possible, the following fundamental CPTED principles should be considered.

- Access
 - Establishment of clearly defined trail entries and facilities for trail users to easily access and move about
 - Establishment of clearly defined trail boundaries to differentiate between public and private spaces

- Visibility
 - Maintain open sight lines throughout a trail corridor in order to promote natural surveillance and the “see and be seen” concept

4.10.2 Scan Analyze Response Assess (SARA)

SARA is a four-step process to quickly address situations that occur in the field, and is described as follows:

- Scan – observe what the situation is, to determine what possible factors are the cause
- Analyze – determine what possible solutions could be implemented to correct
- Response – implement solution
- Assess – evaluate if the solution corrected the situation or if additional measures need to be taken

4.10.3 Sight Distance

Maintaining adequate sight distance for trail users is key in providing a safe trail system. This includes ensuring visibility for (and of) trail users at mid-block crossing locations, steep slopes and switchbacks, tight curves, wooded areas and any other situation where sight lines could be impaired due to site conditions.

4.11 Maintenance & Operations

Maintenance operations of district trails fall into one of two categories: park maintenance or natural resources maintenance.

- Park maintenance is responsible for hard surface trails in order to provide safe and open access opportunities for people to recreate, travel, play and enjoy the outdoors
- Natural resources maintenance is responsible for soft surface trails in order to lessen human impacts and allow natural processes to continue, while providing safe passage for people where appropriate

Please refer to the district's PFP for additional information relating to park maintenance and the NRFP for additional information relating to natural resources maintenance. Trail maintenance operations fall into both categories and consist of the following:

4.11.1 Trail Management Program

THPRD's Natural Resources & Trails Management department administers the district's approved Trails Management Program. The goal of the Trails Management Program is to provide high quality trail systems that safely and sustainably connect people and communities. When the program is successful, these conditions will be met:

- Trails will meet safety standards
- Trail stakeholders, such as district departments and volunteers, will know their role
- Trail information will be available to the public

Trails management is a team effort, requiring the cooperation of multiple departments. The Natural Resources & Trail Management department has the lead role to coordinate the strengths of trained volunteers and the Maintenance Operations, Design & Development, Risk Management, and Security Operations departments to recognize and recommend physical and service improvements to our district's trail system. Please refer the program document for more detailed information about trails management.

4.11.2 Safety Inspection Training Program

As part of the Trails Management Program, the district uses a Safety Inspection Training Program. This program trains district staff to be aware and able to identify potential hazards along the trail system, such as overhanging tree limbs, deteriorating trail surfaces or substandard trail sections. These inspections are conducted annually and are prioritized accordingly. Those hazards posing immediate safety concerns to trail users are moved to the top of the list and addressed immediately. All other potential hazards are rated using a risk assessment matrix for future inclusion in the district's capital maintenance replacement program. The Trails Analysis Form is included in the Appendix for reference.

4.11.3 Maintenance Standards Manual

In addition to the district's Trails Management Program, additional standards and guidelines for trail maintenance can be found in THPRD's Maintenance Standards Manual. Please refer to this manual for district standards and guidelines related to trail maintenance practices. This manual is intended to work in tandem with the Trails Management Program and helps implement many of trail management principles.

4.11.4 Maintenance Vehicle Access Guidelines

In general, regional and community trails should be designed with maintenance and emergency vehicle access in mind. This includes not only the paved trail, but also any bridges or boardwalks along a trail corridor. However, not all bridges and boardwalks need to be vehicle rated if adequate access can be provided from either end of a bridge or boardwalk. Additional guidance can be found in Section 3.3.8.b above.

5. Implementation & Development / How We Get There

5.1 Prioritization Criteria for Trail Development

The 2006 Trails Master Plan established eight goals for the district's trail system:

- Providing recreation opportunities
- Trail development and regional connections
- Access
- Community linkages
- Amenities
- Maintenance and emergency access
- Preservation
- Funding

These eight goals provided the framework in the establishment of the prioritization criteria discussed in the next paragraph.

With the help of the Trails Advisory Committee and staff, selection criteria were developed to establish the framework for the trail prioritization criteria matrix, Table 4A below. The criteria were used to establish priority recommendations for new trails and upgrades to existing substandard trails. These priorities will be implemented by the district's board of directors through the annual budgeting process. Priorities will largely be set based on the funds that are available and applicable for each category (i.e. capital funding to be used for replacement projects on existing trails, site development changes used for new trail improvements).

The spring 2015 survey indicated that respondents believed the district should allocate its resources in the following order: 1) constructing new trails and 2) upgrading existing substandard trails. Although not specifically asked, it can be inferred that land acquisition for new trails should be a priority of the district because of the desire by survey respondents to see new trails constructed.

As such, there may be extenuating circumstances when land acquisition will take precedence to new trail development or enhancement. Land acquisition is often driven by market conditions, a property owner's willingness to sell, public or private partnerships and other factors. The district will continue to actively pursue land for trails in those areas where no service currently exist, including current and future service areas. In areas currently served, the district will be most interested in acquiring land that will fill gaps in or extend the existing trail network.

Table 5A represents thirteen prioritization criteria that will be used to determine how the district will use its resources for trail development, whether it is the enhancement of existing substandard trails or the development of new trails. In order to better prioritize trail projects

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throughout the district, each criterion is weighted based on district policies and desired outcomes. As projects arise, they will be scored and placed in one of two priority areas. Projects scoring 30 or higher will be considered Tier I projects, or high priority projects; projects scoring 29 or lower will be considered Tier II projects, or medium priority.

Table 5A – Trail Prioritization Criteria Matrix.

Criteria	Point Scale (3 = High / 1 = Low)		
	3	2	1
Citizen-Initiated Project Support	Generally Supported by Residents Adjacent to Trail	Generally Supported by the Community At-Large	Neutral or Generally Not Supported
Located in Environmental Justice Area* or CDBG Designated Area	Within a Significantly Above Average Area	Within an Above Average Area	Within an Average or Below Average Area
Located in an Underserved Area	No Trail Access (within 1-mile)	Limited Trail Access (within 1-mile)	Adequate Trail Access (within 1-mile)
Locational Proximity to Residents Served	Surrounded by In-District Residents	Partially Surrounded by In-District Residents	Surrounded by Out-of-District Residents
Number of Residents Served	More than 1,000	500 to 1,000	Less than 500
Overcomes Barriers	Major Improvement (off-street)	Moderate Improvement	Minor or No Improvement (on-street)
Potential for Access to Scenic / Natural Areas	More than 75% of the Trail Corridor	30% to 75% of the Trail Corridor	Less than 30% of the Trail Corridor
Property Ownership	District Owned (fee-simple or easement)	District Owned & Public Right of Way	Public Right of Way (on-street)
Proximity to Major Destinations / User Generators (parks, schools, transit, commercial centers, etc.)	Less than ½-Mile	½-Mile to 1-Mile	More than 1-Mile
Regional Benefits	Improves Access to Regional Areas of Interest	Improves Access to Local/Community Areas of Interest	Improves Access to Neighborhood Areas of Interest

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Criteria	Point Scale (3 = High / 1 = Low)		
	3	2	1
Trail Connectivity	Fills a Gap in the Trail System	Improves a Substandard Portion in the Trail System	Does Not Fill a Gap or Improve a Substandard Segment in the Trail System
Trail Ease of Implementation	Minor Site Work	Moderate Site Work	Major Site Work
Staff Judgment	Does this project make sense in this location? Does this project fill a specific need or service? How long has this area had an unmet need?		

**based on information produced by Metro*

It should be noted that much of the district’s future regional and community trail system is located within environmentally sensitive areas, such as creek corridors. These trail corridors have been identified on the 2015 Trail System Map (Figure 3C) as study areas, which mean they do not have a defined trail alignment at this time.

Instead, these study areas will be analyzed using both the Trail Prioritization Criteria Matrix above (Table 5A) and the district’s NRFPs Site Development Suitability Criteria (Table 5A of that plan) to determine an appropriate trail alignment. This could result in the recommendation that a trail, or portion of a trail, be located outside of the resource area (possibly as an on-street connection). Where the TFP trail prioritization criteria indicates a high priority for trail development and the NRFP site suitability criteria indicates a high priority for natural resource function, it shall be up to the district’s management team and/or board of directors to determine which priority takes precedence.

For those trail corridors located within an environmentally sensitive area but not identified on the trail system map in a study area, this same feasibility analysis will take place in order to determine the most appropriate trail alignment.

5.1.1 New Trail Construction

Prioritization of new trail development projects is based on the trail prioritization criteria identified in Table 4A. Prioritization also takes into consideration the district’s existing trail network as shown in Figure 3A. Tables 5B and 5C identify development priorities for future trails.

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Table 5B – Tier I (High) Priority Projects.

Trail Name / Segment Number	Description
Beaverton Creek Trail #1	THPRD Boundary to 185 th Avenue
Beaverton Creek Trail #2	185 th Avenue to 170 th Avenue
Beaverton Creek Trail #3 & #4	Westside Trail to Hocken Avenue
Waterhouse Trail #4	Willow Creek Greenway to Cornell Road

Table 5C – Tier II (Medium) Priority Projects.

Trail Name / Segment Number	Description
Beaverton Creek Trail #3	170 th Avenue to Westside Trail
Cedar Mill Creek Trail #4	114 th Avenue to Foege Park
Fanno Creek Trail #5	Scholls Ferry Road to 92 nd Avenue
South Johnson Creek Trail #5	Lowami Hart Woods to Brookhaven Park
Westside Trail #12 – #14	Merlo Light Rail Station to Sunset Highway
Westside Trail #15 – #19	Sunset Highway to THPRD Boundary
Westside Trail	Sunset Highway Crossing
Remaining trail segments to be determined	

5.1.2 Existing Trail Enhancements¹

Prioritization of enhancement trail projects is based on the trail prioritization criteria found in Table 5A. Prioritization also takes into consideration the district’s existing trail network as shown in Figure 3A. In many cases, these represent trails that are narrower than district recommendations or have bridges or boardwalks that are narrower than the trail approaches. In either case, these scenarios cause pinch points along the trail system, increasing safety concerns and decreasing trail functionality for trail users. Tables 5D and 5E highlight enhancement priorities for existing trails.

Table 5D – Tier I (High) Priority Projects.

Trail Name / Segment Number	Description
Waterhouse Trail #6	Jocelyn Drive to West Union Road

¹ Existing substandard trail improvement projects that increase capacity and functionality – such as increased widths and curb cuts – are not SDC eligible. Funding for these types of projects is generally associated with grants, bonds or other funding sources. In limited circumstances, these projects may be associated with a maintenance project – such as a trail overlay – and funded through the General Fund.

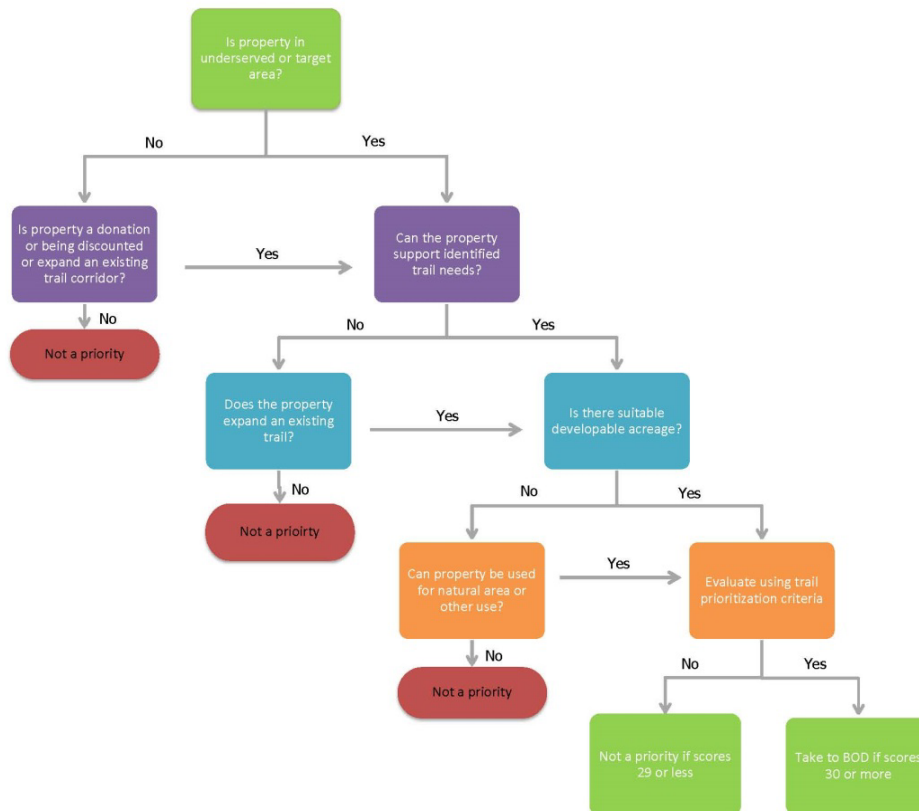
Table 5E – Tier II (Medium) Priority Projects.

Trail Name / Segment Number	Description
Westside Trail #2 – #4	Scholls Ferry to Nora Road
Westside Trail #5	Rigert Road to Hart Road
Westside Trail #6	Hart Road to Burntwood Way
Remaining trail segments to be determined	

5.2 Land Acquisition / Right of Way

THPRD’s Planning and Design & Development departments use its *Acquisition Parameters Guide*, which outlines how the district acquires properties. This includes land acquired as fee simple, easements and donations. As part of its due diligence, the district uses an extensive process of inventorying potential properties for acquisition. This process is highlighted in the following illustration (Figure 5A) and helps to determine site suitability for trail development. This process, initially created and used as part of the 2008 bond measure land acquisition strategy, has been updated to include the trail prioritization criteria outlined in the above.

Figure 5A – Land Acquisition Site Suitability Flow Chart.



In addition to the flow chart, a number of questions are also asked when determining acquisition and prioritization of potential trail sites. These include the following:

- Does it make sense to develop a trail at this location?
- Does this site fill a specific need or service?
- Is this a unique opportunity?
- Can the site fulfill its intended purpose?
- What are potential costs for future trail development (utilities & infrastructure, trail constructability, etc.)?
- Does it serve a multipurpose opportunity for a trail, park, natural area and/or athletic facility, or is it just a trail?
- Is it a key piece to expand an existing trail?

As opportunities arise, properties will be scored and placed in “high”, “medium,” or “low” suitability trail sites.

5.3 Funding Strategies

5.3.1 Capital Improvement Program (CIP)

The district’s capital improvement program (CIP) is a combination of deferred maintenance capital projects and SDC development projects. Additionally, the CIP takes into account the project priorities outlined above. Projects in the CIP are then funded through the district’s budgeting process with either general funds or SDC funds. Grants, partnerships, donations and volunteers may also be solicited to help fund projects identified in the CIP in an effort to maximize district resources.

5.3.1.a Property Tax / General Fund

The district’s primary funding source is property tax revenue. This revenue goes into the district’s general fund and is then allocated for capital projects and maintenance operations on an annual basis. This fund is typically prioritized toward capital replacements.

5.3.1.b System Development Charges / SDC Fund²

The district’s main source of funding for new trail improvements comes from its system development charges (SDC) fund. Since 1997 the district has collected fees on new residential and commercial development occurring within its service area. These fees can only be used

² Existing substandard trail improvement projects that increase capacity and functionality – such as increased widths and curb cuts – are not SDC eligible. Funding for these types of projects is generally associated with grants, bonds or other funding sources. In limited circumstances, these projects may be associated with a maintenance project – such as a trail overlay – and funded through the General Fund.

for new trail development or improvements to existing trails that expand capacity necessitated by new development. SDC funds cannot be used for capital replacement or maintenance purposes.

5.3.2 Developer SDC Credit Projects

In lieu of paying SDC fees at the time of development, developers may enter into a memorandum of understanding (MOU) to construct trail improvements for the amount of estimated SDC fees that would normally be charged. The MOU outlines specific trail improvements to be constructed for which credit will be issued. The MOU also includes language to ensure that such trail improvements meet district design standards and guidelines.

5.3.3 Grants

Grant sources include private foundations, public agencies, such as the Oregon Parks and Recreation Department, the Oregon Department of Transportation, Metro, and other agencies. Grants can be used to acquire land, fund an entire trail development and/or just a portion of a trail, such as a bridge, signage or trailhead amenities. Grants can also be used for new trail development or enhancement of existing trails and facilities. The district will typically use SDC funds as a local match in order to leverage grant funds.

5.3.4 Donation / Volunteer / Partnership

In certain instances, trail improvements are donated to the district or provided to the district. This could include land, materials, products and/or labor for the construction or maintenance of trail improvements. In most instances, this occurs in conjunction with improvement projects of other public agencies, such as Metro, Washington County, Clean Water Services or the City of Beaverton. In some instances, trail improvements can come from private development or community groups seeking improvements of trail facilities in their neighborhoods.

5.3.5 Bond Funding

The district may pursue the issuance of bonds if approved by voters during a general or special election. Bond funds can be used for a variety of projects based on how the bond is crafted, including land acquisition, new trail development, redevelopment of existing trails, capital replacements or a combination of these items. Bond funds can be short-term or long-term, and can be used for specific projects or many different projects.

6. Success Monitoring / How Are We Doing

6.1 Performance Measures

Perhaps the simplest measures for gauging district progress are tracking:

- Number of master plans completed
- Miles of new trails constructed
- Number of capital replacement projects completed
- Miles of substandard trails enhanced

While the district will monitor these items, they cannot be stand-alone measurements as many factors can influence targeted outcomes. Budget constraints, shifts in priorities, environmental considerations and other such factors can impact the length of time to complete projects or acquire land.

Additional performance measures that can be used by the district include:

- Trail system completion
- Trail system connectivity
- Access and proximity to population
- Trail maintenance
- Trail user satisfaction
- Trail user profile
- Trail user counts

6.2 Monitoring Procedures

The district will use a variety of methods to monitor its successes, or shortfalls, in achieving its expectations. Monitoring of expectations will occur on an annual basis or a multi-year basis depending on outcomes being monitored. The following table identifies specific monitoring procedures to collect data on those performance measures listed above.

Table 6A – Performance Measures and Monitoring Procedures.

Performance Measure	Monitoring Procedure(s)	Additional Notes
System Completion	GIS evaluation	Maintain GIS database of trails to include attributes such as trail surface, trail width and date of construction
Trail System Connectivity	GIS-based model	Use GIS model developed through Rails to Trails Conservancy Trail Modeling and Assessment Program (T-MAP) to inventory and analyze the district’s trail system in relation to regional and nationwide trail networks

THPRD Trails Functional Plan

Performance Measure	Monitoring Procedure(s)	Additional Notes
Access and proximity to population	GIS evaluation	Determine locations of access, quality of access using GIS to determine percentage of households or percentage of population within a half mile of accesses
Trail Maintenance	Routine operations	Conduct systematic risk assessment (inspections of railings, bridges, surfaces, signage, etc.; evaluation and removal of debris; emergency response protocol; tracking of incidences and safety issues; vegetation control)
Trail Maintenance	Remedial operations	Correct significant defects (resurfacing, repainting, repairing, etc.)
User Profile/ Satisfaction	Survey	Gather data on type of use, amount of use, distance traveled, amount of money spent, where money is spent. Information can feed into an economic and health impact assessment. Multiple examples of these analyses can be found around the country and the T-MAP program is also developing these national tools that can be used here
Counts	Field counts	Automated or manual calculation of ADT

Any successful monitoring process includes effective communication of outcomes. As part of the district’s effort, it will provide periodic updates or reports to the management team and board of directors on key elements in the monitoring process, including miles of trails completed, identification of most heavily used trail segments (based on trail counts) and where critical gaps in the trail system exist.

Communication with the public is also important and may include updates on initiation of trail master planning, new trail construction and completion of trail development projects. Project updates and highlights of specific trails may be included on the district’s website, in its activities guide and/or in its monthly e-newsletter and quarterly newsletter. Any communication intended for the public needs to be coordinated with the district’s Communications & Outreach Division.

6.2.1 Short Term Monitoring

One of the easiest ways for the district to gauge whether it is improving its trail system is through its annual maintenance inspection process. Each year all district assets, including trails, are evaluated and placed into the deferred maintenance database. This database is used to help prioritize capital replacement projects during the budgeting process. As replacement projects occur, including updates to trail facilities and amenities, these items can be tracked against the trail inventory completed in spring 2015.

Trail user surveys are another way the district can monitor whether or not expectations are being met or if access to trails is improving. Although these types of surveys are not scientific or statistically valid, they do provide a method of getting immediate feedback from the people on the trails. Analysis of trail counts is another method for tracking trail usage and can often reinforce information gathered from user surveys and inspections.

6.2.2 Long Term Monitoring

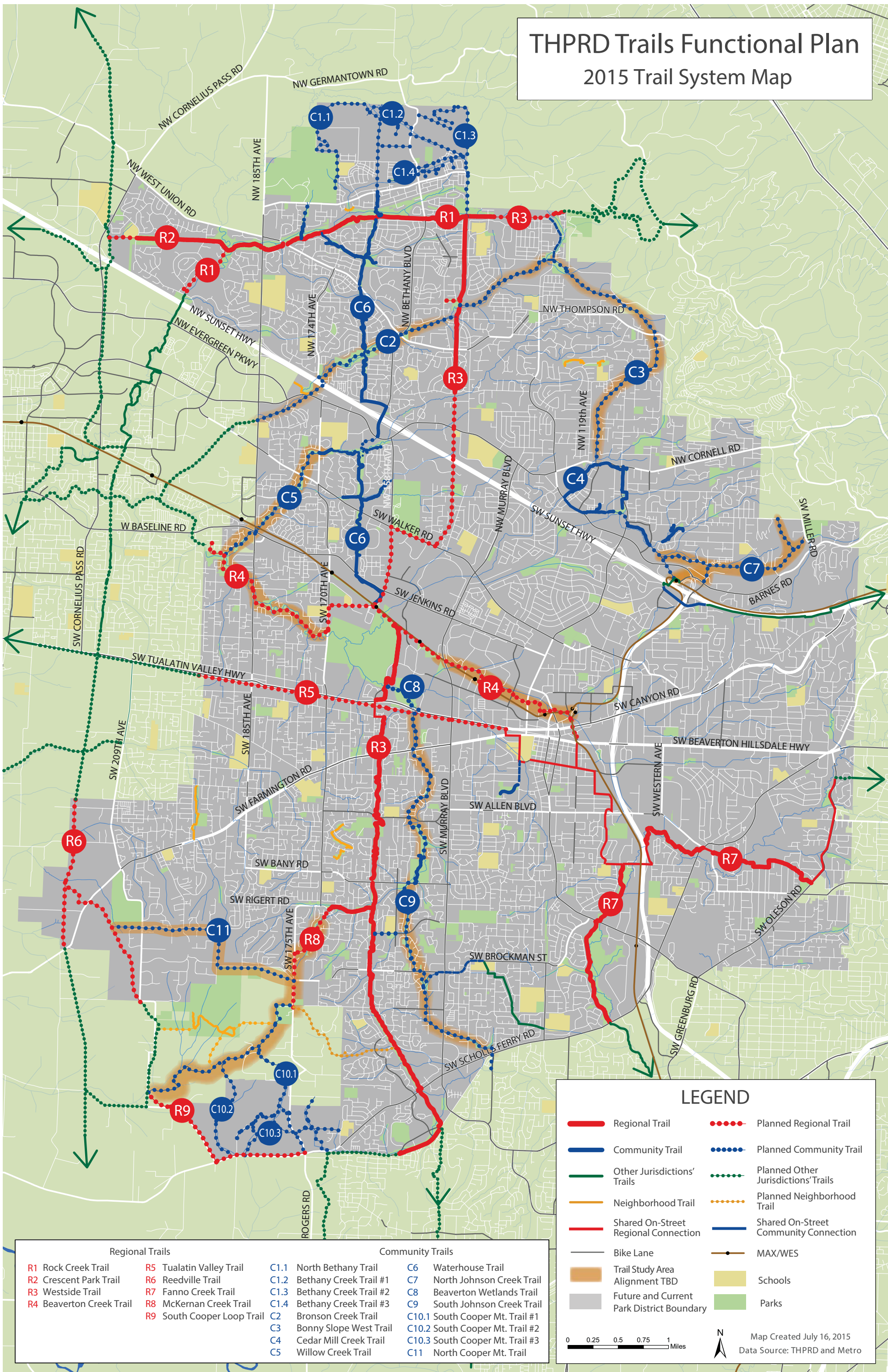
Because projects such as master plans, new trail development, and existing trail enhancement often take more than one year to complete, it is more effective to monitor for success on a 3-5 year basis. Tracking projects identified in the district's annual budget is one of the easiest ways to track progress, comparing projects completed on time versus those that get delayed or eliminated.

Trail user profiles, and access to user populations, and other demographic information are also better gauged on a long-term basis. These types of analysis tend to be more useful in ensuring all residents have access to the trail system as well as reinforcing the positive benefits trails provide to the community.

7. Appendix

7.1 2015 Trail System Map (11 inch by 17 inch format)

THPRD Trails Functional Plan 2015 Trail System Map



Regional Trails		Community Trails	
R1	Rock Creek Trail	C1.1	North Bethany Trail
R2	Crescent Park Trail	C1.2	Bethany Creek Trail #1
R3	Westside Trail	C1.3	Bethany Creek Trail #2
R4	Beaverton Creek Trail	C1.4	Bethany Creek Trail #3
R5	Tualatin Valley Trail	C2	Bronson Creek Trail
R6	Reedville Trail	C3	Bonny Slope West Trail
R7	Fanno Creek Trail	C4	Cedar Mill Creek Trail
R8	McKernan Creek Trail	C5	Willow Creek Trail
R9	South Cooper Loop Trail	C6	Waterhouse Trail
		C7	North Johnson Creek Trail
		C8	Beaverton Wetlands Trail
		C9	South Johnson Creek Trail
		C10.1	South Cooper Mt. Trail #1
		C10.2	South Cooper Mt. Trail #2
		C10.3	South Cooper Mt. Trail #3
		C11	North Cooper Mt. Trail

LEGEND

	Regional Trail		Planned Regional Trail
	Community Trail		Planned Community Trail
	Other Jurisdictions' Trails		Planned Other Jurisdictions' Trails
	Neighborhood Trail		Planned Neighborhood Trail
	Shared On-Street Regional Connection		Shared On-Street Community Connection
	Bike Lane		MAX/WES
	Trail Study Area Alignment TBD		Schools
	Future and Current Park District Boundary		Parks

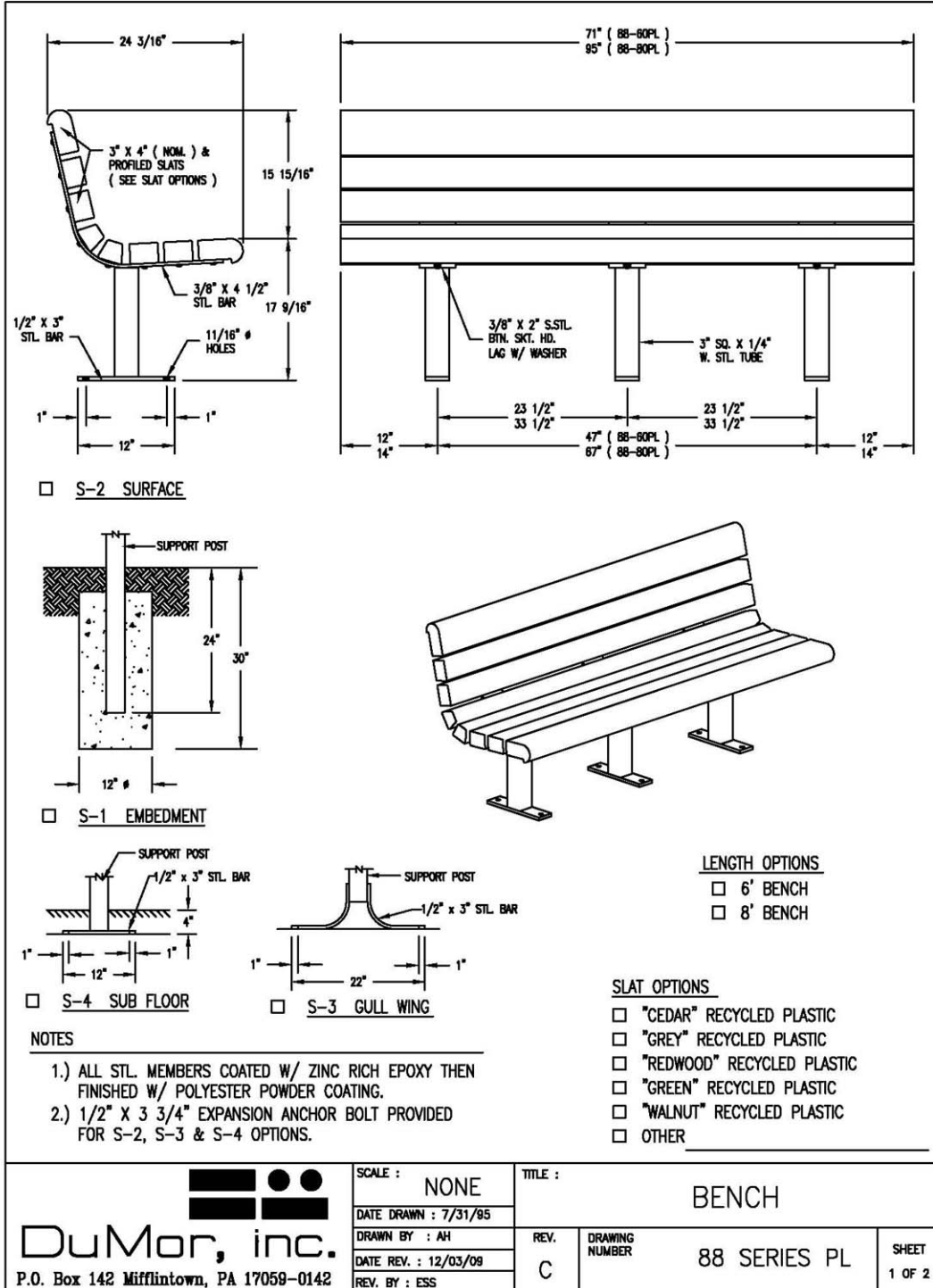
0 0.25 0.5 0.75 1 Miles

Map Created July 16, 2015
Data Source: THPRD and Metro

7.2 Trail Details

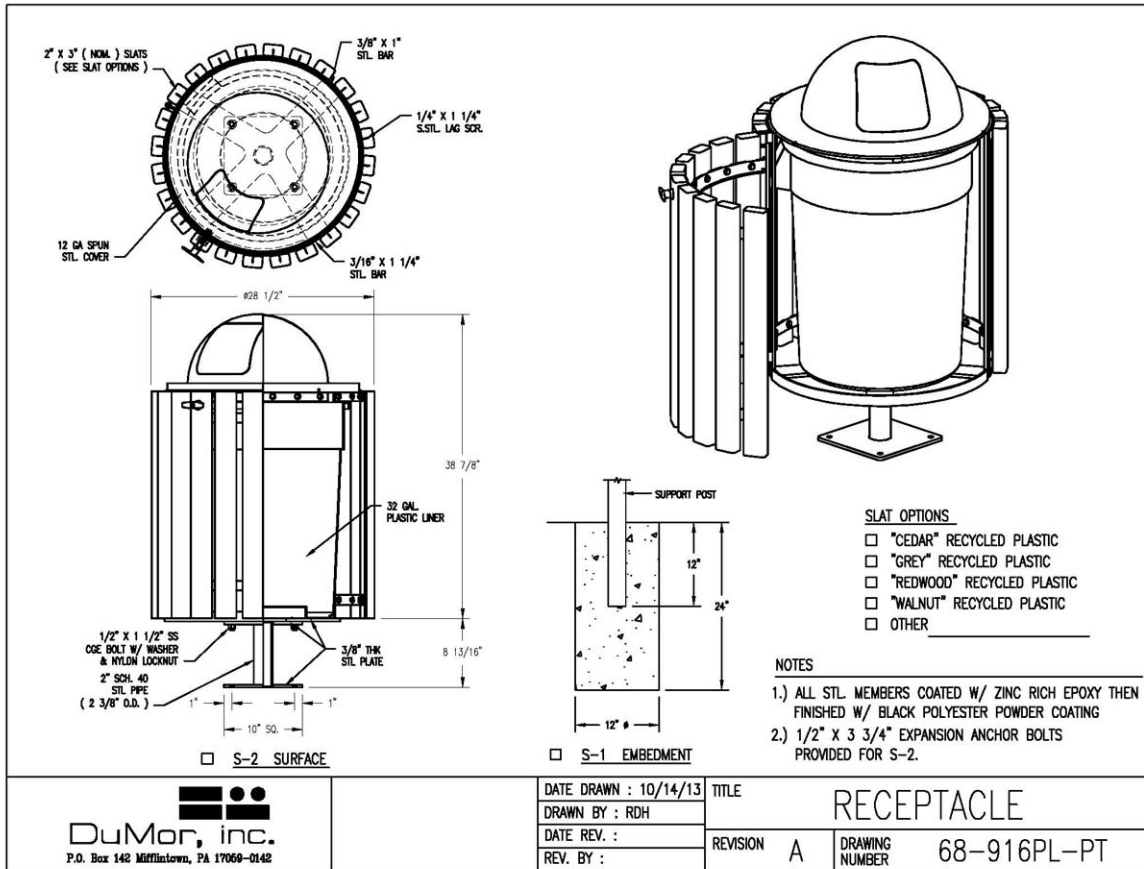
7.2.1 Site Furnishings

- Bench – Dumor 88-PL Series



THPRD Trails Functional Plan

- Trash Receptacle – Dumor 68-916PL-PT Series

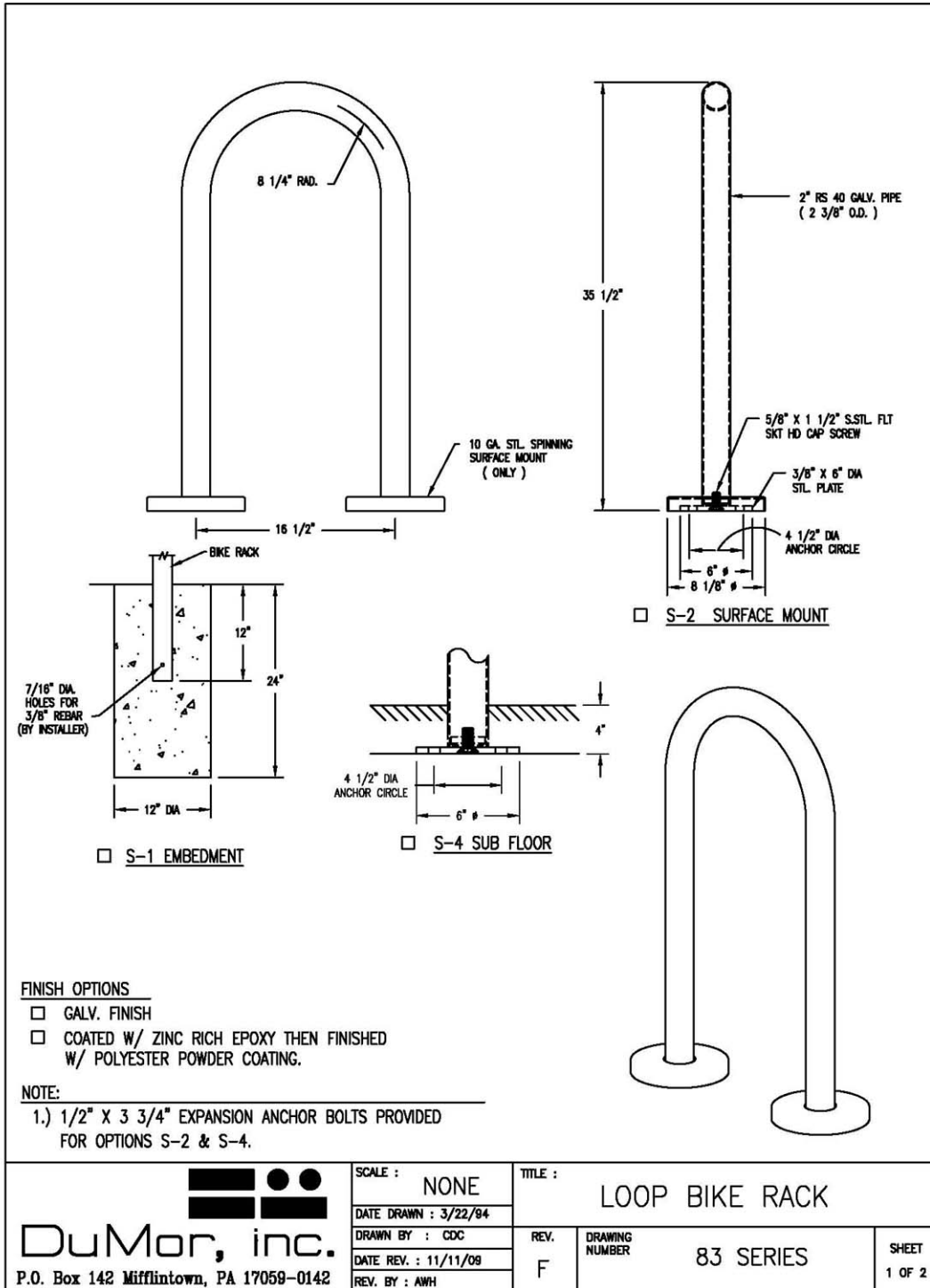


DuMor, inc.
 P.O. Box 142 Mifflintown, PA 17069-0142

DATE DRAWN : 10/14/13	TITLE		RECEPTACLE
DRAWN BY : RDH	REVISION		A
DATE REV. :	DRAWING NUMBER		68-916PL-PT
REV. BY :			

THPRD Trails Functional Plan

- Bike Rack – Dumor 83 Series



THPRD Trails Functional Plan

- Bike Rack – Dumor 83 Series (continued)


INSTALLATION FOR SURFACE MOUNT

STEP 1:
 USE 1 - PC. BIKE LOOP, SURFACE MOUNT (1)
 2 - PCS. 3/8" THK SURFACE MOUNT PLATE (2)
 2 - PCS. 10 GA X 8" DIA ANCHOR PLATE COVER (3)
 2 - PCS. 5/8" X 1 1/2" SS FLT SKT HD CAP SCREW (4)
 SLIDE 10 GA X 8" DIA ANCHOR COVER (3) OVER BIKE LOOP,
 SURFACE MOUNT (1) LEGS. ATTACH 3/8" THK. SURFACE
 MOUNT PLATE (2) TO BIKE LOOP, SURFACE MOUNT (1) USING
 HARDWARE (4).

STEP 2:
 ANCHOR ACCORDINGLY.

INSTALLATION FOR SUB FLOOR
 SAME AS SURFACE MOUNT BUT DO NOT USE
 10 GA X 8" DIA ANCHOR PLATE COVER.

ITEM	QTY	PART NO	DESCRIPTION
1	1	0-83-00-01/S-2	BIKE LOOP, SURF MOUNT
2	2	0-83-00-03	3/8" THK SURFACE MOUNT PLATE
3	2	0-83-00-04	10 GA X 8" DIA STL ANCHOR PLATE COVER
4	2	1-12-102	5/8" X 1 1/2" SS FLT SKT HD CAP SCR



DuMor, inc.
 P.O. Box 142 Mifflintown, PA 17059-0142

SCALE : NONE

DATE DRAWN : 3/22/94

DRAWN BY : CDC

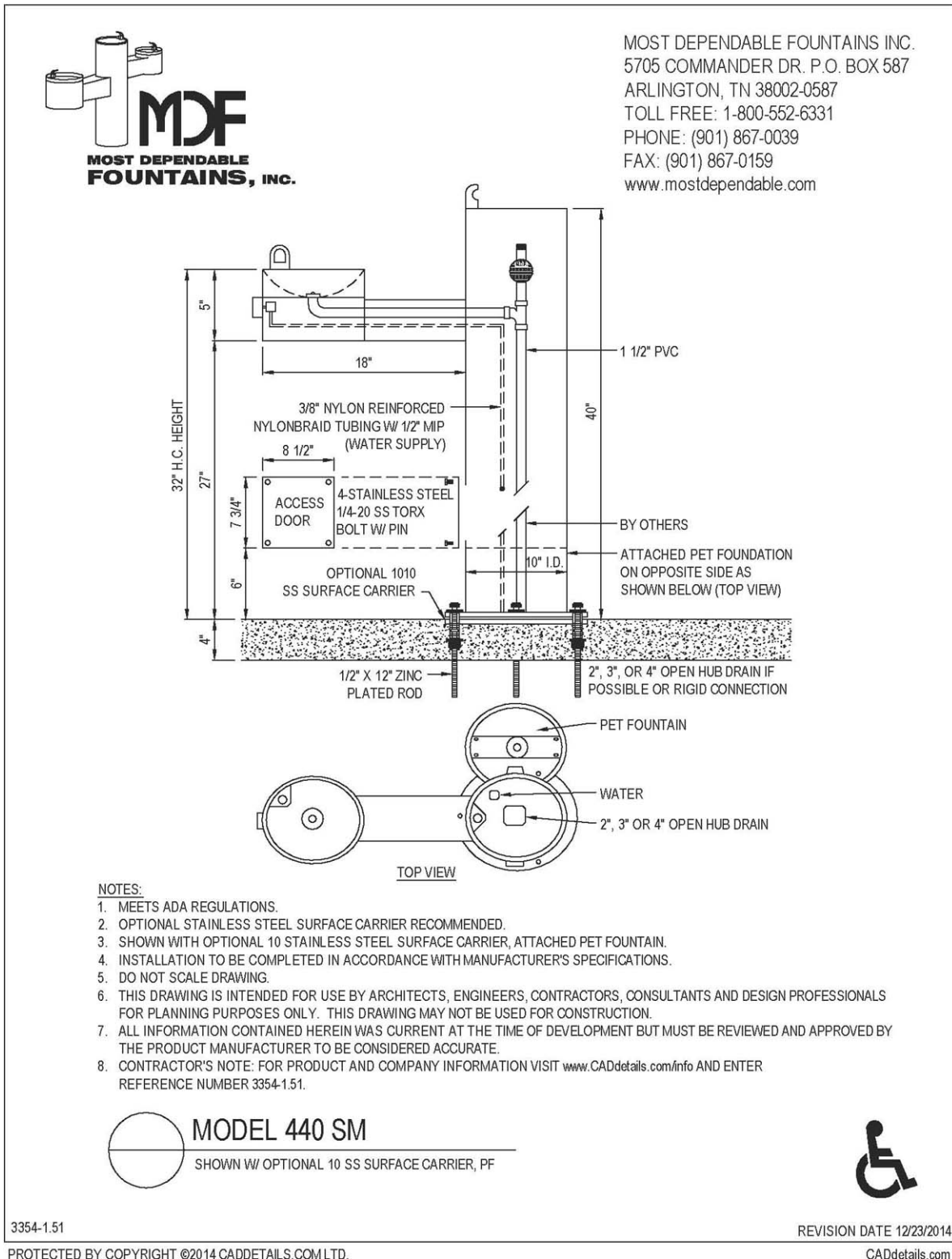
DATE REV. : 11/11/09

REV. BY : AWH

TITLE : LOOP BIKE RACK ASSEMBLY

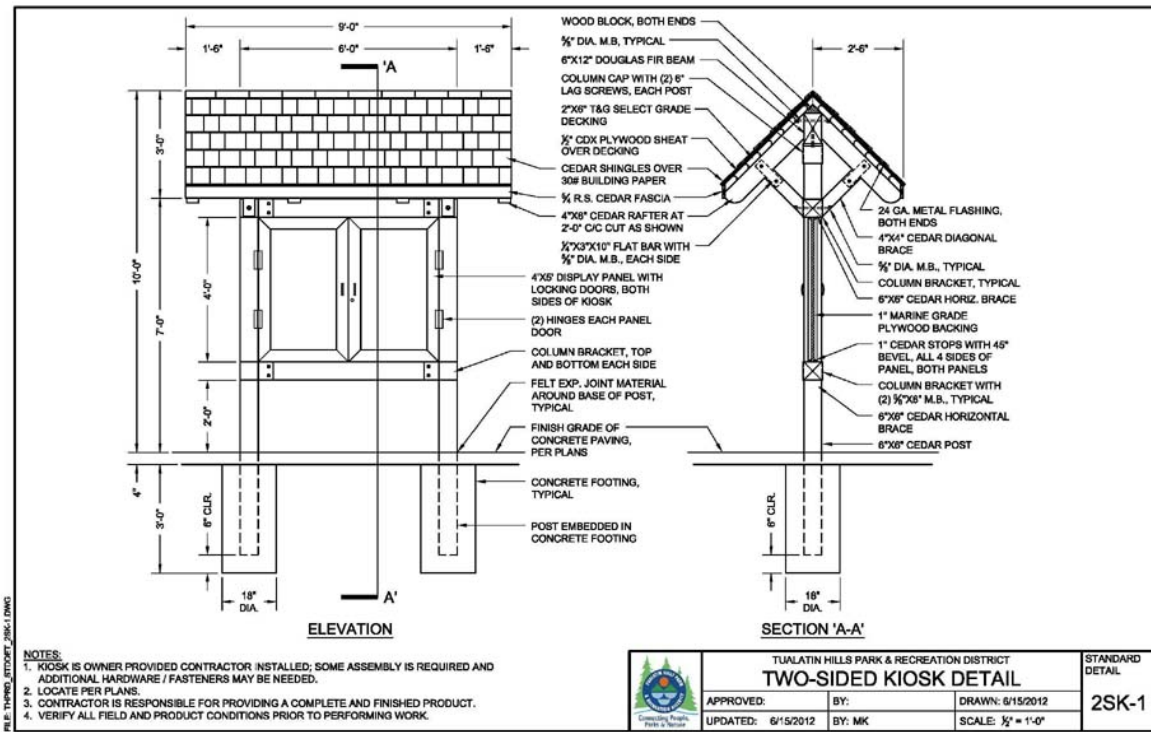
REV. F	DRAWING NUMBER 83 SERIES	SHEET 2 OF 2
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- Drinking Fountain – Most Dependable Fountain 440 SM



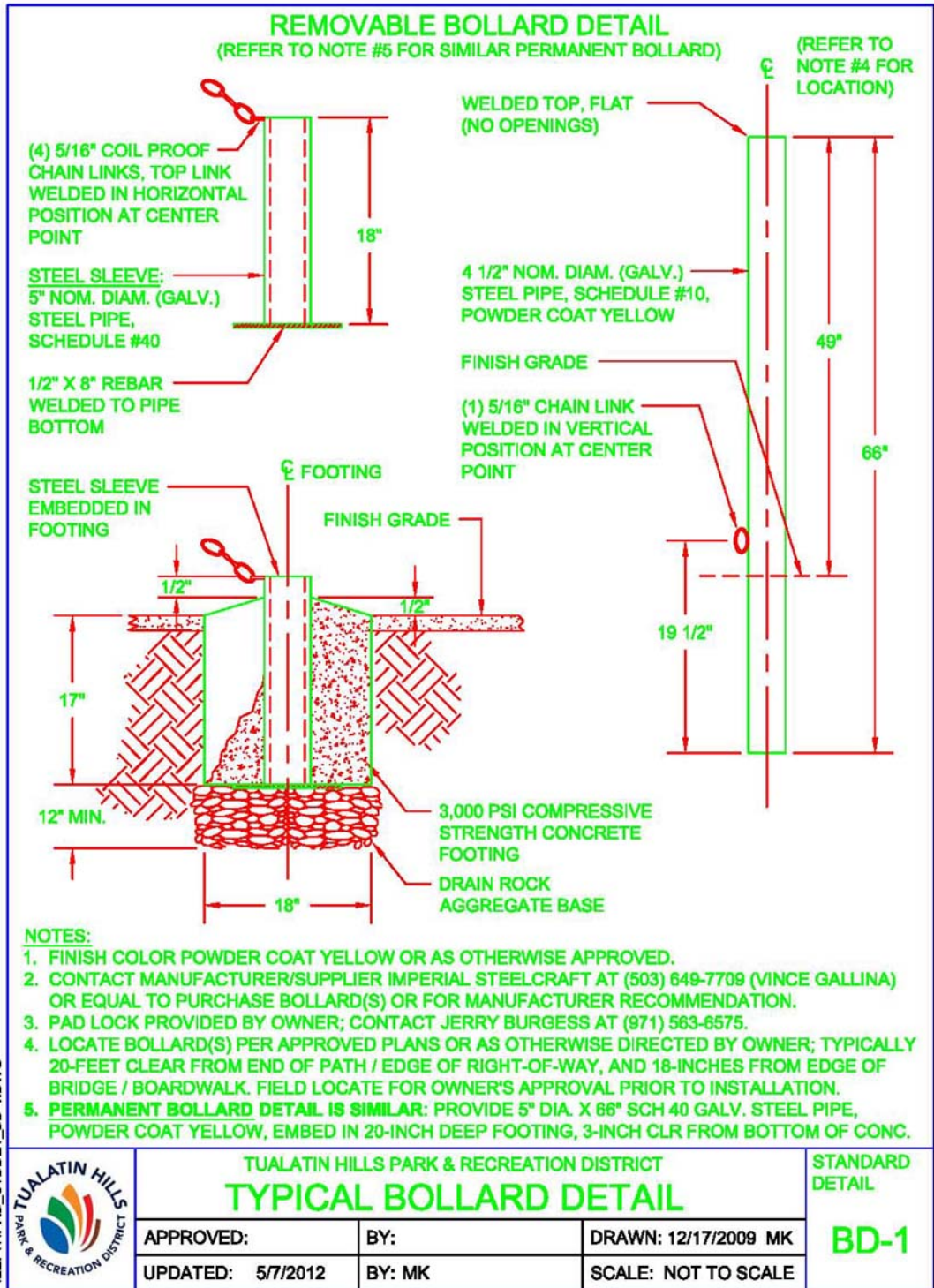
THPRD Trails Functional Plan

- Kiosk – THPRD standard



7.2.2 Bollards

- Permanent and Removable Bollard – THPRD standard



7.2.3 Signage

- Type A Sign Family – Site Identification

Type A Sign Family: Site Identification

These signs identify a site such as a park or athletic center for pedestrian and vehicular traffic. The type of sign used should be determined by the scale of the facility or facility entrance to be identified and the sign visibility conditions.

Type A1 provides identification for neighborhood parks or secondary entrances of larger facilities and is considered to be the "Standard" sign for the District.

Type A2 offers greater legibility for use in identifying larger parks or locations where traffic is typically above 35 mph. Parks with multiple entry points may use this type to indicate the primary entrance.

Type A3 provides identification at secondary and tertiary entrances or for smaller facilities such as a neighborhood park that does not require vehicular traffic visibility. This sign is typically paired with the park regulations sign panel.

Type A4 is for the identification of major facilities such as a large recreation complex.



THPRD Trails Functional Plan

- Type D Sign Family – Trailhead Identification

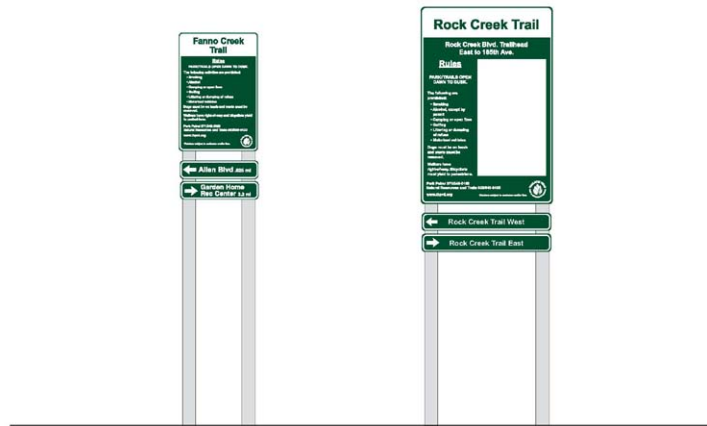
Type D Sign Family: Trailhead Identification

These signs identify a trailhead

Type D1 provides trailhead identification and rules without additional information

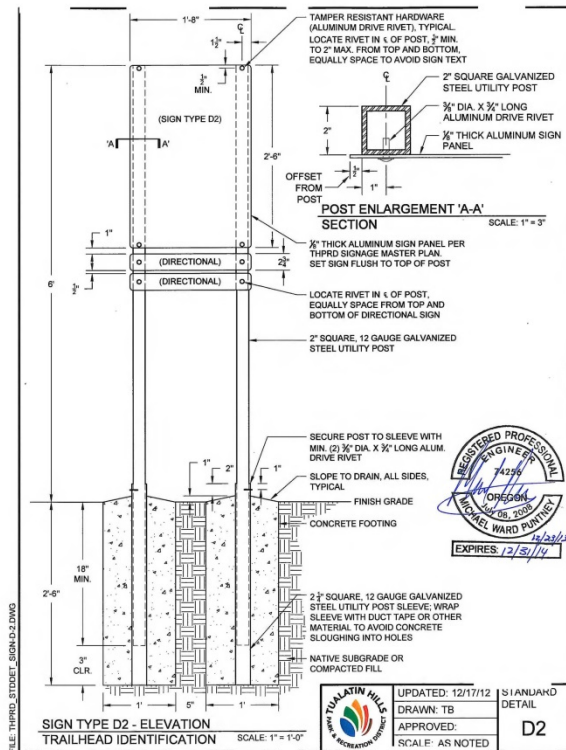
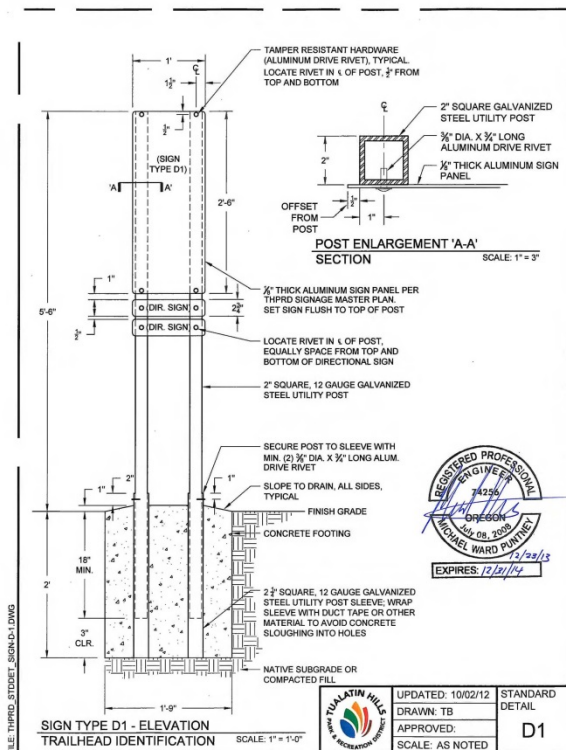
Type D2 has a map included (oth horizontal and vertical versions)

Optional directional panels can be applied to any of these.



Type D1 - Trailhead Identification (Small)

Type D2 - Trailhead Identification with Map



THPRD Trails Functional Plan

- Type R Sign Family – Regulatory

Type R Sign Family: Regulatory Signs

These signs provide rules and regulations.

Type R1 provides park/trail rules and is typically located at pedestrian entries to the park. It uses an angle post while the other Type R signs use utility posts.

Type R2 provides disc golf rules.

Type R3 provides rules for the children's play area.

Type R4 provides dog park rules.

Type R5 provides basketball rules.

Type R6 provides hockey rules.

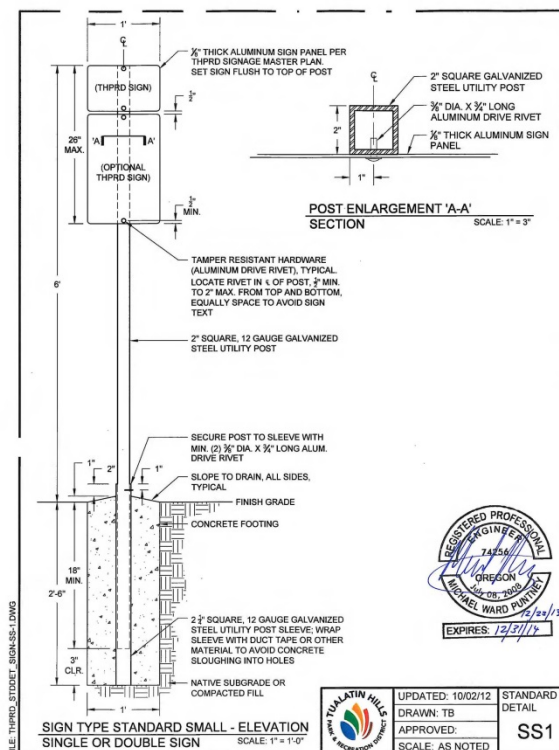
Type R7 provides skate park rules.

Type R8 provides tennis rules.

Type R9 provides synthetic field rules.

Type R10 provides BMX track rules.

Type R11 provides Community Garden rules.



THPRD Trails Functional Plan

- Type T Sign Family – Directional and Safety

Type T Sign Family: Directional and Safety Signs

These signs provide direction for pedestrians and vehicles.

Type T1 provides trail identification and direction.

Type T2 indicates mileage distance on trails.

Type T3 assists with directions at trail gaps to connect to the next trail segment.

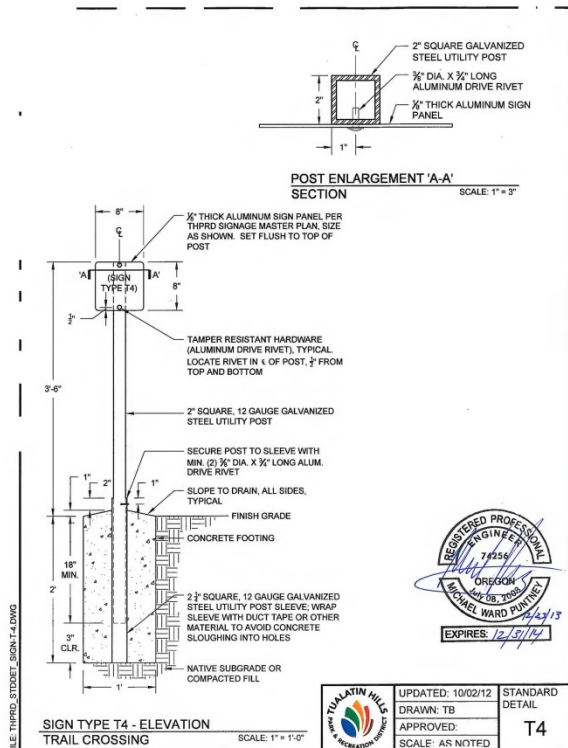
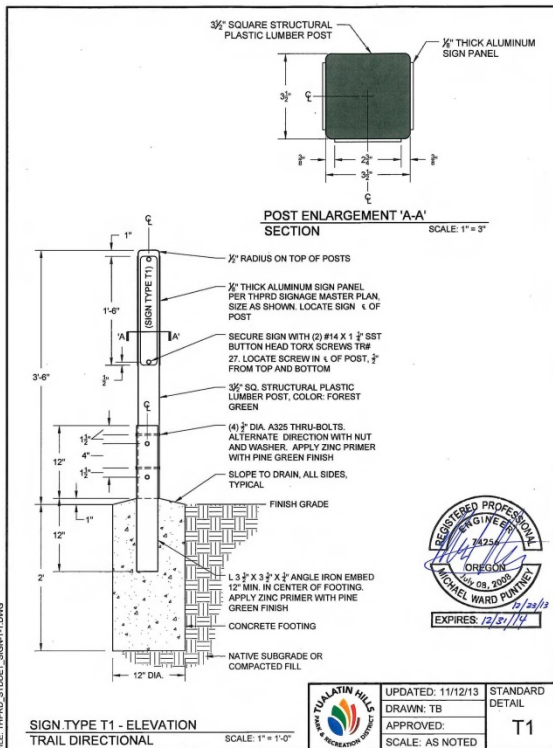
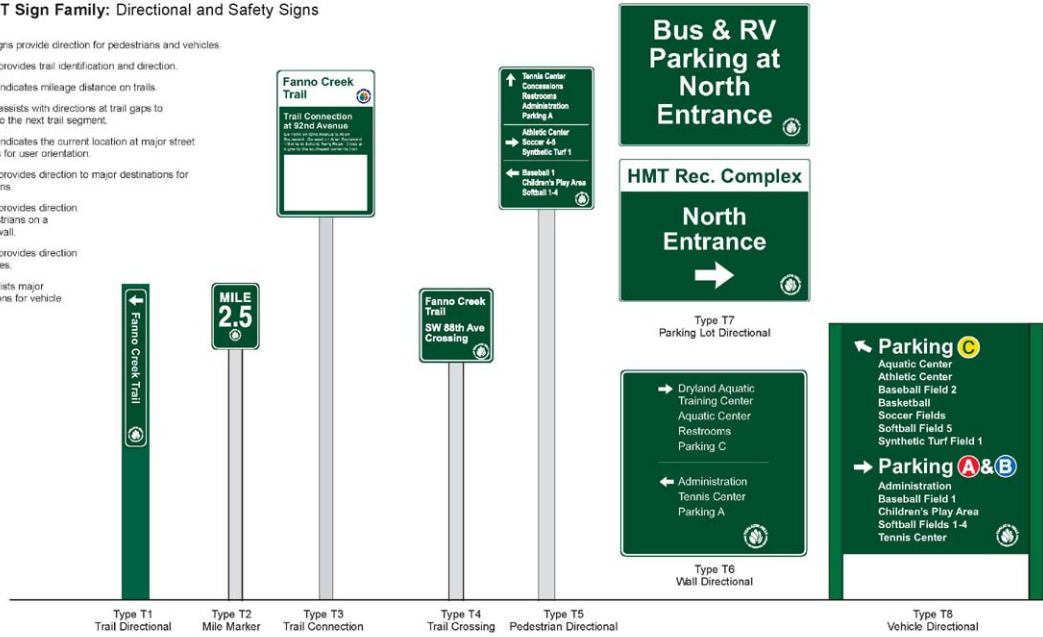
Type T4 indicates the current location at major street crossings for user orientation.

Type T5 provides direction to major destinations for pedestrians.

Type T6 provides direction for pedestrians on a building wall.

Type T7 provides direction for vehicles.

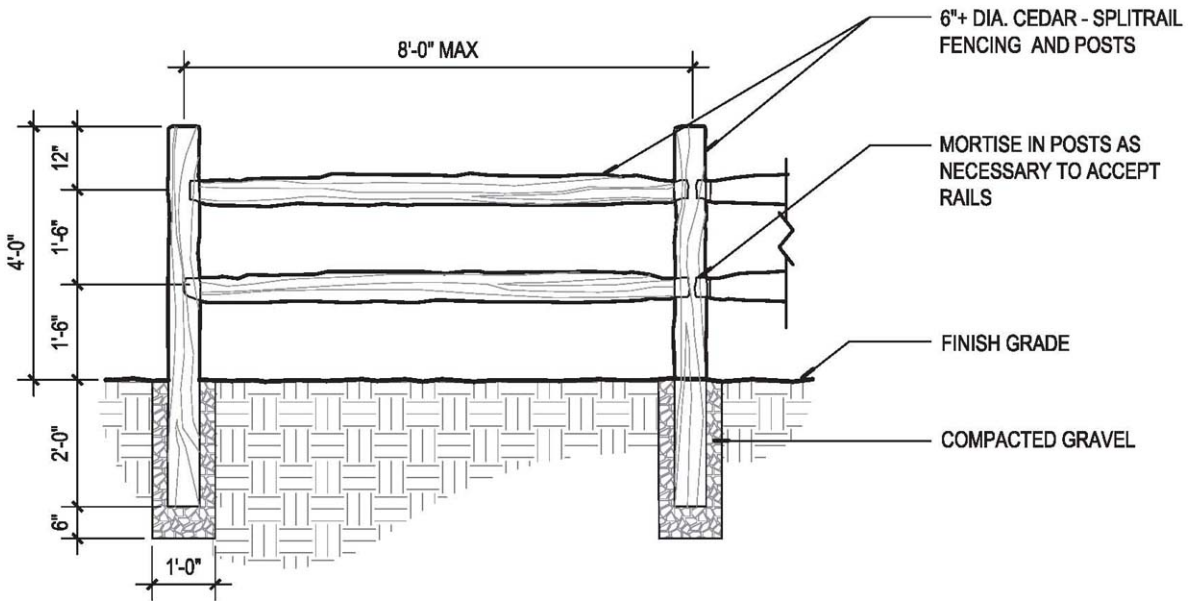
Type T8 lists major destinations for vehicle traffic.



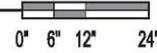
7.2.4 Fencing

- Split-rail fence

NOTE: FENCING MATERIAL SHALL BE 'JUMBO SPLIT RAIL' AS PROVIDED BY DICK'S EVERGREEN FENCE OR APPROVED EQUAL.



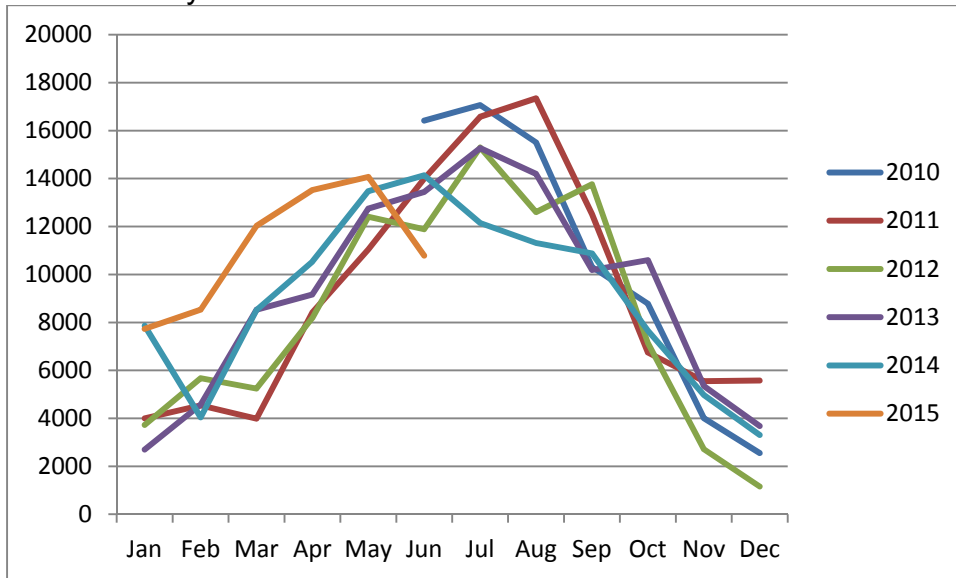
4 SPLIT RAIL FENCE
SECTION



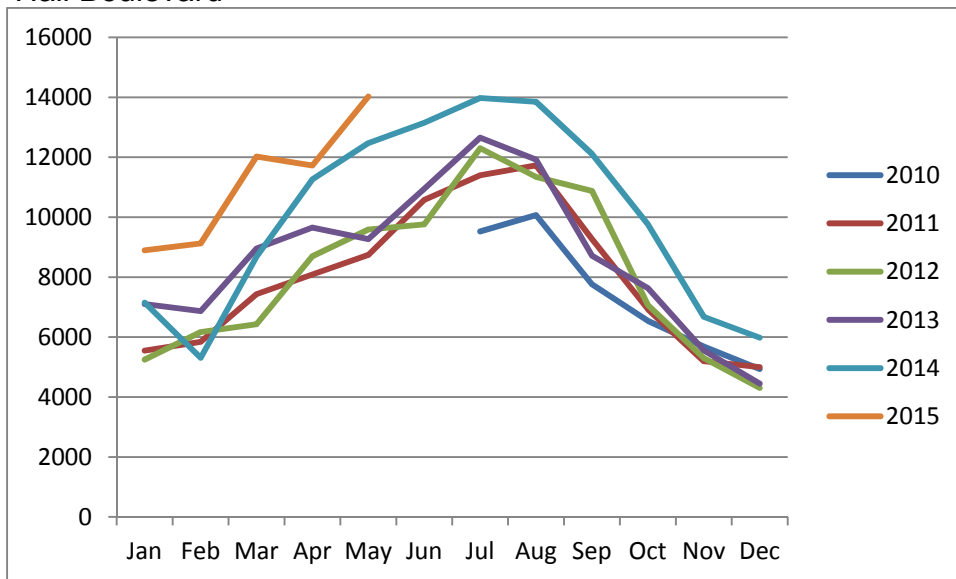
7.3 Trail Counts 2010 – 2015

7.3.1 Fanno Creek Regional Trail

- @ SW Scholls Ferry Road

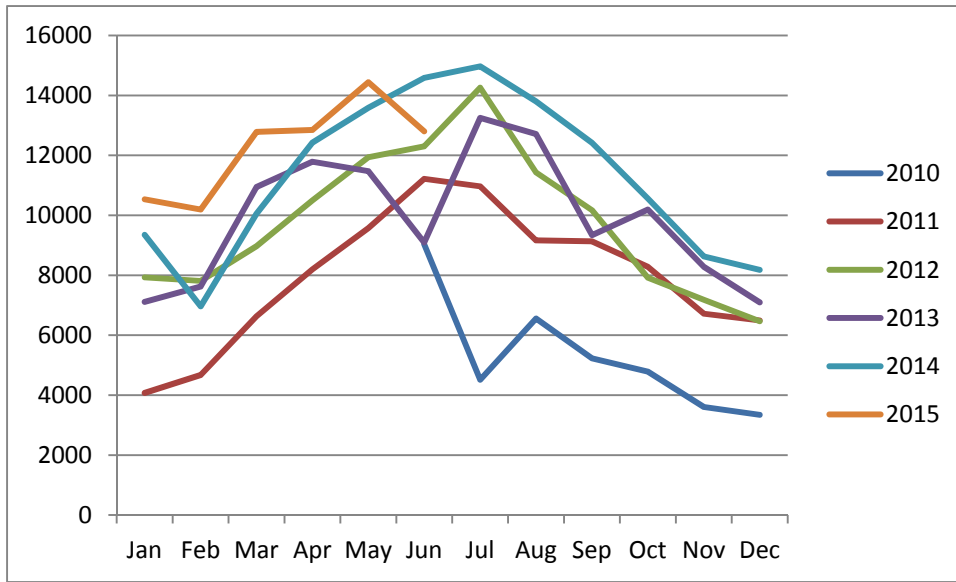


- @ SW Hall Boulevard



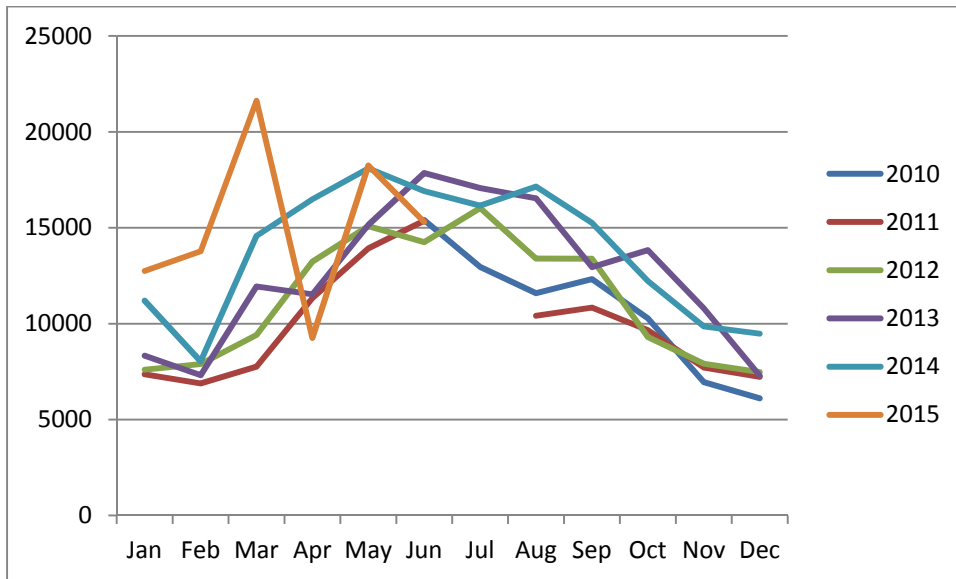
THPRD Trails Functional Plan

- @ SW 92nd Avenue



7.3.2 Rock Creek Regional Trail

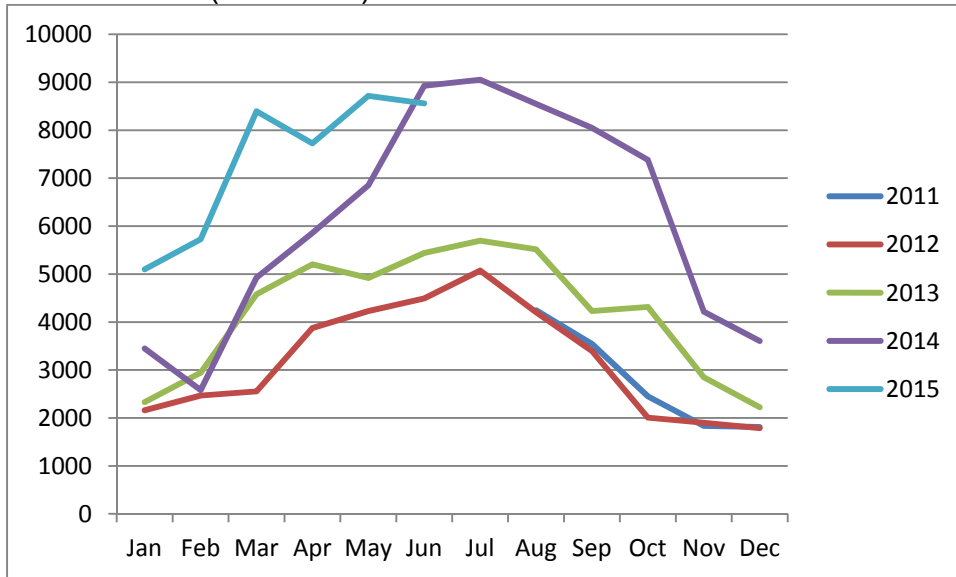
- @ Pirate Park/Waterhouse Trail



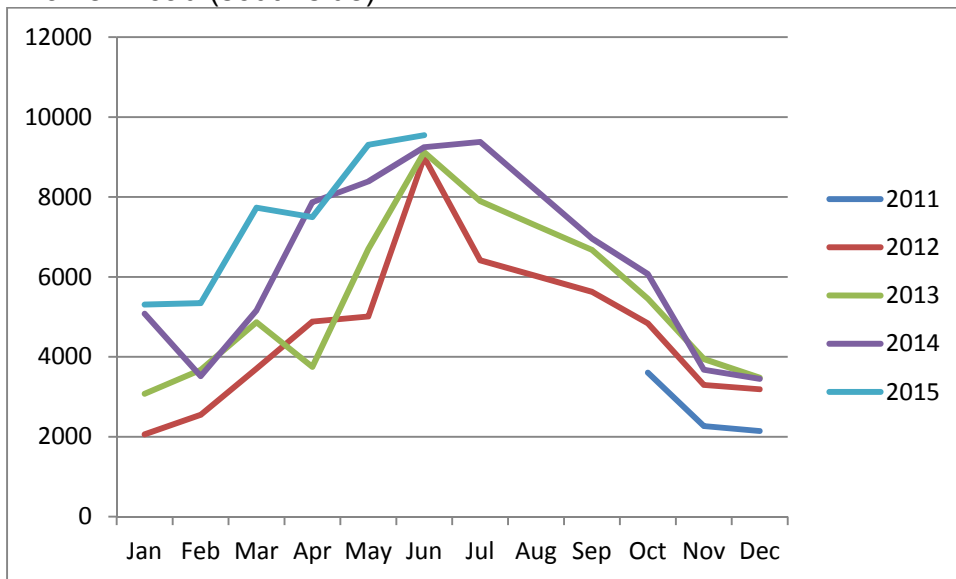
THPRD Trails Functional Plan

7.3.3 Waterhouse Community Trail

- @ SW Walker Road (north side)



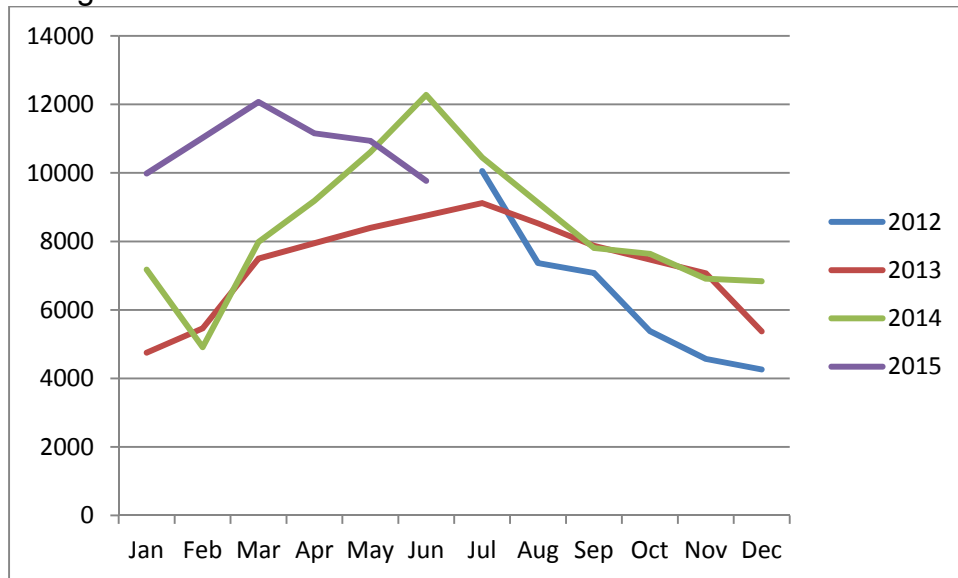
- @ SW Walker Road (south side)



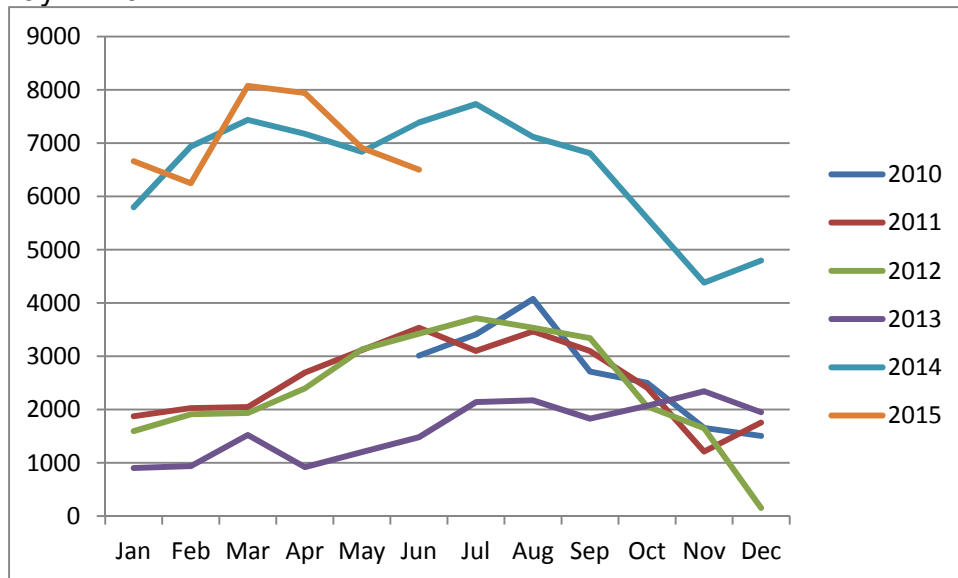
THPRD Trails Functional Plan

7.3.4 Westside Regional Trail

- @ SW Village Lane



- @ Murrayhill Park





MEMO

DATE: November 25, 2015
TO: The Board of Directors
FROM: Doug Menke, General Manager

RE: **General Manager's Report for December 7, 2015**

System Development Charge Capital Improvement Program

With the completion of the Parks and Trails Functional Plans, plus the anticipated adoption of a new SDC Methodology, it is the appropriate time to update the five-year SDC Capital Improvement Program (CIP). This update will be different than prior updates in that it will be driven by the priorities identified in the functional plans, but will also be directed by the capital projects list in the new methodology. As such the CIP project list will be created from scratch rather than updating the existing SDC CIP. The CIP will also reflect development activity and project commitments in the new urban service areas (North Bethany, South Cooper Mountain, and Bonny Slope West).

The district has already received interest from residents near potential new park sites in providing input into the priority sites to be identified in the new CIP. As such the process of developing the proposed CIP for board consideration will include two community meetings to solicit public input, as well as an opportunity for on-line input on the district web page. We are also using our regular contacts at NAC and CPO meetings to inform residents about the opportunities to provide input.

A rough summary of the planned timeline is as follows:

- December – complete estimation of five-year SDC revenue, land acquisition commitments in the new urban areas, and priority project list based on the functional plans.
- January – provide opportunity for public input as noted above.
- February – provide a prioritized project list for board review.
- March – request board approval of the new five-year SDC CIP.

Audit Report on THPRD Financial Statements for Fiscal Year 2014/15

The Comprehensive Annual Financial Report (CAFR) for the year end June 30, 2015 will be delayed to January 31, 2016. The reason for the delay is to provide the district's auditor, Talbot Korvola & Warwick (TKW), and the district's pension plan holder, The Standard, additional time to implement the new pension accounting requirements on behalf of the district. The Government Accounting Standards Board (GASB) released Statement No. 68 impacting accounting and financial reporting for pensions. Fiscal year ended June 30, 2015 is the first year GASB 68 is implemented. The CAFR will be filed before the Municipal Securities and Rulemaking Board (MSRB) deadline to meet all continuing disclosure filing requirements.

Summer Special Events Recap

The 2015 summer special events season was once again a big success, with great entertainment, food and many happy attendees. At the December meeting, Superintendent of Programs and Special Activities Lisa Novak will be sharing highlights of our recent summer events and activities.

Conestoga's Program Standards Manual Honored by the Learning Resources Network

Conestoga Recreation & Aquatic Center recently developed a Program Standards Manual, an evolving guidebook that encompasses the criteria expected for Conestoga's facility presentation, program objectives and instructor expectations. By documenting and qualifying Conestoga's standard benchmarks, staff is able to best evaluate the experience our patrons are receiving based on the guidelines laid out in both a written and visual manner.

In October 2015, Conestoga submitted and received a Management Practice award for the manual from Learning Resources Network (LERN). LERN is the world's largest association in continuing education and lifelong learning, offering information and consulting expertise to providers of continuing education and recreation.

THPRD's New Website Receives Award

THPRD's newly redesigned website has been recognized for professional excellence. The site received a W³ Silver Award in the "user experience" category. The W³ is sanctioned and judged by the Academy of Interactive and Visual Arts, which consists of professionals from media, interactive, advertising, and marketing firms.

Board of Directors Meeting Schedule

The following dates are proposed for the board of directors and budget committee's meeting schedule over the next few months:

- January Regular Board Meeting – **Tuesday**, January 12
- February Regular Board Meeting – Monday, February 1
- Mid-Year Budget Review Meeting – Monday, February 22
- March Regular Board Meeting – Monday, March 7



MEMO

DATE: November 24, 2015
TO: Doug Menke, General Manager
FROM: Aisha Panas, Director of Park & Recreation Services

RE: **Resolution Appointing Advisory Committee Members**

Introduction

Staff requests board of director's appointment of 27 advisory committee members to three new committees.

Background

In June 2015, the board voted to restructure the advisory committee system into three new committees:

- Nature & Trails: Guides management of natural areas, associated community engagement, trail use, and trail development. Subject areas include natural areas, wildlife, environmental education, and both paved and soft surface trails.
- Parks & Facilities: Reviews development and use of outdoor physical assets, buildings and associated community engagement. Subject areas include developed parks, athletic facilities, program facilities, ADA access, historic properties, and community gardens.
- Programs & Events: Ensures THPRD meets program service delivery goals. Subject areas include programming, cost recovery, diversity and inclusion in environmental education (content covered by Nature & Trails), recreation, sports, volunteering, and aquatic activities.

Members of existing committees were offered the opportunity to move to the new structure, which allows a maximum of nine members per committee. Staff engaged in a community-wide recruitment drive in order to encourage a diverse range of THPRD patrons to participate in the new committee structure. The following table shows the number of returning committee members and the number of new applicants:

Committee Name	Returning Members	New Applicants
Nature & Trails	9	0
Parks & Facilities	4	8
Programs & Events	1	8

The Nature & Trails committee was filled with returning members. Programs & Events had one returning member and eight new applicants which filled the committee. The Parks & Facilities committee had four returning members and eight new applicants, exceeding the limit. Staff's recommendation to fill the five open seats for the Parks & Facilities committee is shown below.

All committees will have their first meeting on January 18, 2016, 6:00 pm at the Fanno Creek Service Center, which will include an orientation and goal setting session.

Proposal Request

Because there are three more applicants than spaces on the Parks & Facilities committee, staff reviewed applications for relevant experience and a balance of interests, and recommend appointments in the following order:

1. Sue Rimkeit
2. Steve Pearson
3. Virginia Bruce
4. Kevin Apperson
5. Sharad Mishra
6. Krista Mancuso
7. Nanda Siddaiah
8. Galit Pinker
9. Layton Rosencrane

The following applicants to the Parks & Facilities committee are qualified, but due to space limitations are not recommended for appointment:

- Kevin Bebb
- Ira Halpern
- Leslie Ray

Recommended rosters and applications for each committee are attached.

Board Member Liaisons

Another component of the new advisory committee structure is the addition of board member liaisons to each of the three advisory committees. At the request of President Pelatt, a scoring matrix was distributed to the board members in order to assist with the discussion regarding the selection of liaisons. The completed scoring matrix will be provided to the board in advance of the December 7, 2015 board meeting. Staff requests board discussion and consensus of which board members are to serve as liaisons to the new advisory committees.

Action Requested

Board of directors' approval of Resolution 2015-19, appointing advisory committee members.

RESOLUTION 2015-19
TUALATIN HILLS PARK & RECREATION DISTRICT, OREGON

**A RESOLUTION APPOINTING
ADVISORY COMMITTEE MEMBERS**

WHEREAS, the Tualatin Hills Park & Recreation District Board of Directors must appoint committee members by resolution; and

WHEREAS, each committee member shall be appointed by the Board for a two or three year term expiring on December 31, 2017 or December 31, 2018 as noted in the attached rosters; and

WHEREAS, the selected committee members have demonstrated their interest and knowledge in the Committee's area of responsibility. Now, therefore

THE TUALATIN HILLS PARK & RECREATION DISTRICT RESOLVES AS FOLLOWS:

The Board of Directors approves the appointment of advisory committee members to the Nature & Trails, Parks & Facilities, and Programs & Events Committees.

Duly passed by the Board of Directors of the Tualatin Hills Park & Recreation District this 7th day of December 2015.

Larry Pelatt, Board President

Jerry Jones Jr., Board Secretary

ATTEST:

Jessica Collins
Recording Secretary



Tualatin Hills Park & Recreation District
NATURE & TRAILS
PROPOSED ADVISORY COMMITTEE ROSTER

Last Updated: 11/24/2015

<i>Committee Member</i>	<i>Member Since</i>	<i>Term Expires</i>
Mitch Cruzan	May 2010	3 years
Bernadette Le	Jan 2012	2 years
Laura Porter	Oct 2013	3 years
John Ratliff *	June 2013	3 years
Cory Samia	May 2010	3 years
Sam Scheerens	June 2014	2 years
Geri Scheerens	June 2014	2 years
Matthew Shepherd	Feb 2010	3 years
Jack Shorr	Feb 2012	2 years
<i>Staff Liaisons</i>	<i>Representing</i>	<i>Term Expires</i>
Bruce Barbarasch	THPRD	n/a

**Application unavailable, returning committee member*



TUALATIN HILLS PARK & RECREATION DISTRICT ADVISORY COMMITTEE APPLICATION

Name: Mitch Cruzan		Date: 03/05/2010
Address: Beaverton	City: Beaverton	Zip: 97007
Phone #(H) _____	(WK) _____	(CELL) _____
Email: _____		

Advisory Committee you are applying for:
(You must reside within the Park District boundaries)

- Recreation
 Aquatics
 Sports
 Trails
 Elsie Stuhr Center
 Historic Facilities
 Natural Resources
 Parks

1. Please explain your interest in serving on the Advisory Committee:

I have taught and conducted research in ecology, plant ecology, and related fields for more than twenty years. My classes and students from Portland State University Department of Biology have participated in data collection projects in THPRD natural parks for the last six years. My family and I regularly visit and enjoy the natural parks in our city and county.

2. How long have you lived in the community?

Eight years this summer.

3. Have you or your family participated in any Center or other Recreation District activities?

What: Recreation at nature parks.
Education and research activities at the nature parks.
My family members regularly use the aquatic facility at the Terpenning Complex.

When: Regularly over the last seven years.

Where: I regularly conduct classes at Tualatin Hills Nature Park, and occasionally at other parks in the district.

Regular visitors to Tualatin Hills Nature Park, and other nature parks in South Beaverton.

My daughter swims 20 hours per week at the swim center with the Thunderbolt Swim Club. Our

Number of Years: 7

***CONTINUES ON NEXT**

Tualatin Hills Park & Recreation District, 15707 SW Walker Road, Beaverton 97006

503/645-7846 fax 503/629-6301

**TUALATIN HILLS PARK & RECREATION DISTRICT
ADVISORY COMMITTEE APPLICATION**

4. Have you served on other volunteer committees? YES NO If yes, please explain where, when, and what your responsibilities were:

5. Please describe any work experience or areas of expertise that you feel would benefit the Advisory Committee:

I have expertise in plant and animal ecology, wildlife resource management, conservation biology, urban ecology, the ecology of invasive species, and other areas of ecology, genetics, and population biology. (I'm an Associate Professor in Biology at Portland State University)

6. Term of Office preferred:
2-YEAR TERM or 3-YEAR TERM *Please check one*



TUALATIN HILLS PARK & RECREATION DISTRICT
ADVISORY COMMITTEE APPLICATION

Name: Bernadette Le	Date: 2/18/2013
Address:	City: Zip:
Phone # (H) _____ (WK) _____ (CELL) _____	
Email:	

Advisory Committee you are applying for:
(You must reside within the Park District boundaries)

Recreation Aquatics Sports Trails Elsie Stuhr Center Historic Facilities
Natural Resources Parks

1. Please explain your interest in serving on the Advisory Committee:

To be informed about upcoming projects and contribute to the planning of future projects

2. How long have you lived in the community? Since 2011

3. Have you or your family participated in any Center or other Recreation District activities?

What:

Swim lessons, first time friends, and indoor playground

When:

Since 2011

Where:

Conestoga Rec & Cedar Hills Rec Center

Number of Years: 3 yrs

***CONTINUES ON NEXT PAGE**

**TUALATIN HILLS PARK & RECREATION DISTRICT
ADVISORY COMMITTEE APPLICATION**

4. Have you served on other volunteer committees? YES NO If yes, please explain where, when, and what your responsibilities were:

Portland Parks & Rec Willamette Park planning process in 2010 during my graduate program. I also volunteered on a community advisory committee in a followup planning process in 2012.

5. Please describe any work experience or areas of expertise that you feel would benefit the Advisory Committee:

Masters of Urban & Regional Planning in 2010 from PSU.

Park planning in 2010 & 2012 for Portland Parks & Rec.

6. Term of Office preferred:

2-YEAR TERM or 3-YEAR TERM *Please check one*



TUALATIN HILLS PARK & RECREATION DISTRICT ADVISORY COMMITTEE APPLICATION

Name: Laura Porter		Date: July 3, 2013
Address:	City: Portland, OR	Zip: 97225
Phone #(H)	(WK)	(CELL)
Email: porterl@cleanwaterservices.org		

Advisory Committee you are applying for:
(You must reside within the Park District boundaries)

Recreation Aquatics Sports Trails Elsie Stuhr Center Historic Facilities
Natural Resources Parks

1. Please explain your interest in serving on the Advisory Committee:

I have enjoyed THPRD facilities tremendously, especially the last six years since having children. I work in watershed management at Clean Water Services and believe that my skills and experience would be a good match for this committee. I enjoy volunteering and believe this committee could be a good way for me to give back and contribute to my community in a meaningful way.

2. How long have you lived in the community? 15 years

3. Have you or your family participated in any Center or other Recreation District activities?

Yes. My family has enjoyed the trails at the Nature Park Interpretative Center, I've attend meetings at Cooper Mountain, and my family has volunteered at ivy removal and planting events along Fanno Creek Trail. In addition, I used to swim at the Terpenning Complex, my children have taken swim lessons at the Beaverton Swim Center; swim lessons and gymnastics at Conestoga; and gymnastics, dance and summer camps at Cedar Hills Recreation Center. And finally, the park behind and adjacent to my son's elementary school is a THPRD facility and we also frequent another THPRD

Number of Years: Over 10 years

***CONTINUES ON NEXT PAGE**

TUALATIN HILLS PARK & RECREATION DISTRICT ADVISORY COMMITTEE APPLICATION

4. Have you served on other volunteer committees? YES NO If yes, please explain where, when, and what your responsibilities were:

* From 2005-2010, I served on the City of Portland's Budget Advisory Committee. On that committee I helped coordinate comments, write memos, and presented to the City Council.

* In 2012, I volunteered with the National Association of Environmental Professionals to plan a national conference that was held in Portland. My role was planning the President's Dinner on one evening of the conference at an off-site location.

* In 2008, I co-chaired the Oregon Association of Clean Water Agencies Stormwater Committee. I helped plan and facilitate meetings, maintained meeting notes, and attended Board meetings.

* For two years, 1999-2000, I was the local president of the Society of Women Engineers. This included running board meetings, coordinating volunteers, and facilitating a speaker seminar series.

5. Please describe any work experience or areas of expertise that you feel would benefit the Advisory Committee:

For the last three years, I've work in watershed management at Clean Water Services and projects have included developing and implementing monitoring of our flow restoration program in upper Tualatin River tributaries; exploring alternative stormwater management strategies; freshening our Tree For All program; and developing a communications strategy. Prior to that I worked for environmental consultant for nine years on water resources issues and planning. In addition, I have volunteered with SOLVE as a Stream Team captain. I'm excited to apply my working knowledge of the Tualatin River watershed as a member of the natural resources committee.

6. Term of Office preferred:
2-YEAR TERM or 3-YEAR TERM *Please check one*



TUALATIN HILLS PARK & RECREATION DISTRICT ADVISORY COMMITTEE APPLICATION

Name: Cory Samia	Date: April 20, 2010
Address:	Zip: 97228
Phone # _____ (H) _____ _____ (WK) _____ (CELL)	

Advisory Committee you are applying for:

(You must reside within the Park District boundaries)

PLEASE NOTE: My residential address is 7255 SW Alden St, Portland, OR 97223
 Recreation Aquatics Sports Trails Elsie Stuhr Center Historic Facilities
 Natural Resources Parks

1. Please explain your interest in serving on the Advisory Committee:

I am interested in serving on the Natural Resources Advisory Committee because I feel strongly that a truly livable, sustainable and appealing community is more than shopping areas, structured recreation and ball parks. Natural areas need advocacy like everything else under the Park District's oversight. More and more is becoming known on plant and animals' abilities in many species to adapt to a more urban environment if their basic habitat needs are met. In order to plan for the next 7 generations, awareness must be increased in this generation about how our day-to-day decisions impact what the District will look like in coming decades. Natural areas are asked to perform many functions. But not all those functions are equal and not all those needs should be met with one parcel.

2. How long have you lived in the community?

24 years

3. Have you or your family participated in any Center or other Recreation District activities?

What: Garden Home Recreation Center classes (many kid classes like gymnastics, etc), adult classes like yoga, weight room use. My daughter and I have a painted tile on the wall at Garden Home. We use Harmon pool and Raleigh Park pool. I have visited the Nature Center and Cooper Mountain several times and participated in nature walks. I helped with some restoration at Moon Shadow Park. I have walked/biked several trails including Greenway Park and Fanno Creek.

When: From 1986 to present

Tualatin Hills Park & Recreation District, 15707 SW Walker Road, Beaverton 97006

503/645-7846 fax 503/629-6301

**TUALATIN HILLS PARK & RECREATION DISTRICT
ADVISORY COMMITTEE APPLICATION**

5. Please describe any work experience or areas of expertise that you feel would benefit the Advisory Committee:

For the last 16 years I have worked as an environmental educator at the Water Resources Education Center funded by the City of Vancouver. In this capacity, I manage 60 acres of Columbia River wetlands, installed a Backyard Wildlife demonstration garden, develop and maintain exhibits in the Nature Center, write some grants, manage the Watershed Monitoring Network with 3 contractors and 3100 students doing water quality and habitat monitoring and develop many education programs, including Science in the Park and Second Saturday.

For 7 years prior to that I was the earth and environmental education specialist at the Oregon Museum of Science and Industry. Duties involved designing education programs, leading field trips, doing demonstrations, writing grants and developing exhibits.

Prior to that I work for the US Bureau of Mines as a technical editor. I have a masters degree in geology and earth science.

6. Term of Office preferred:

2-YEAR TERM or 3-YEAR TERM Please check one

Tualatin Hills Park & Recreation District, 15707 SW Walker Road, Beaverton 97006

503/645-7846 fax 503/629-6301



TUALATIN HILLS PARK & RECREATION DISTRICT ADVISORY COMMITTEE APPLICATION

Name: Samuel F. Scheerens		Date: 2/26/2014
Address:	City:	Zip:
Home Phone:	Cell:	Work Phone:
Email:		

**Advisory Committee you are applying for:
(You must reside within the THPRD boundaries)**

- | | | | |
|-------------------------------------|--|--|--|
| <input type="checkbox"/> Aquatics | <input type="checkbox"/> Historic Facilities | <input type="checkbox"/> Natural Resources | <input type="checkbox"/> Parks |
| <input type="checkbox"/> Recreation | <input type="checkbox"/> Sports | <input type="checkbox"/> Stuhr Center | <input checked="" type="checkbox"/> Trails |

1. Please explain your interest in serving on the Advisory Committee:
As a frequent user of THPRD trails, I am interested in maintaining and expanding the network. I think the livability of our community has been greatly improved by THPRD parks and trails, and would like to contribute to that work.

2. How long have you lived in the community?
19 years

3. Have you or your family participated in any Center or other Recreation District activities? Yes No
If yes, please explain in what you or your family participated in and where, when:
Youth soccer. My daughter and son were on multiple teams for Somerset West and Westside Recreational clubs. I helped in an unofficial capacity from 2000-2010 around various parks and schools in the district. Rachel Carson Middle School – Reclamation project on Willow Creek from 2010- 2012 at Roxie’s Place Park. Invasive species cleanup – Earth Day volunteer project at Tualatin Hills Nature Park

4. Have you served on other volunteer committees? Yes No
If yes, please explain where, when, and what your responsibilities were:

5. Please describe any work experience or areas of expertise that you feel would benefit the Advisory Committee:
I commute by bicycle between Aloha and Raleigh Hills. I have ridden extensively around the THPRD area and visited every park and trail by bicycle. Have also walked extensively in the Beaverton / SW Portland Area.

I have a degree in Engineering Mathematics. My current job involves a lot of technical reading and writing.

6. Term of Office preferred (please check one):
 2-year term or 3-year term



TUALATIN HILLS PARK & RECREATION DISTRICT ADVISORY COMMITTEE APPLICATION

Name: Gerri A. Scheerens		Date: 2/26/2014
Address:		City: Zip:
Home Phone:	Cell:	Work Phone:
Email:		

**Advisory Committee you are applying for:
(You must reside within the THPRD boundaries)**

- | | | | |
|-------------------------------------|--|--|--|
| <input type="checkbox"/> Aquatics | <input type="checkbox"/> Historic Facilities | <input type="checkbox"/> Natural Resources | <input type="checkbox"/> Parks |
| <input type="checkbox"/> Recreation | <input type="checkbox"/> Sports | <input type="checkbox"/> Stuhr Center | <input checked="" type="checkbox"/> Trails |

1. Please explain your interest in serving on the Advisory Committee:
I would like to see the trails expanded. I have been very impressed with Westside Trail and would like to help anyway that I can to continue the excellent service that THPRD has performed in this area.

2. How long have you lived in the community?
19 years

3. Have you or your family participated in any Center or other Recreation District activities? Yes No
If yes, please explain in what you or your family participated in and where, when:
Metro West Youth Soccer. Both daughter and son did this from 2000-2010.
Rachel Carson Middle School creek reclamation "Willow Creek." Rachel Carson was where my son went to middle school so we were involved as volunteers in a lot of their activities from 2010-2012.
Swimming Lessons for both kids from age 3-8 years in 1995-2009.

4. Have you served on other volunteer committees? Yes No
If yes, please explain where, when, and what your responsibilities were:
Community Advisory Committee of Aloha & Reedville. Three year study to determine what can be done to make Aloha & Reedville a better place to live. I have read materials and provided input for the "Aloha Reedville Study and Livable Community Plan."

5. Please describe any work experience or areas of expertise that you feel would benefit the Advisory Committee:
I live in the area and, with my husband, have traveled on most of the existing trails by bike and walking.

I have a degree in Nutrition and a Masters in Agronomy and Plant Genetics.

6. Term of Office preferred (please check one):
 2-year term or 3-year term



TUALATIN HILLS PARK & RECREATION DISTRICT ADVISORY COMMITTEE APPLICATION

Name: Matthew Shepherd	Date: 2/19/15
Address: _____ City: Portland Zip: 97229	
Phone # (H) _____	(WK) _____ Email: _____

Advisory Committee you are applying for (you must reside within the Park District boundaries):

- Recreation Aquatics Sports Trails Elsie Stuhr Center Historic Facilities
 Natural Resources Parks

1. Please explain your interest in serving on the Advisory Committee:

I've been a regular user of THPRD parks and natural areas for a number of years and recognize the importance they hold both for THPRD in offering a full range of recreation activities and to the communities living in adjacent neighborhoods. In addition, as a major landowner within the Beaverton area, THPRD is looked to to provide leadership in environmental management. I hope to be able to support THPRD in maintaining natural areas and sustainable management to the highest level.

2. How long have you lived in the community? 17 years

3. Have you or your family participated in any Center or other Recreation District activities?

My whole family has enjoyed a wide variety of activities and sports—including prenatal swim classes, yoga, toddler activities, arts and crafts, and many years of soccer and basketball—which have taken us to several recreation centers and facilities. We also are regular walkers in our local parks, have swung and slid at playgrounds, and visit to watch wildlife.

4. Have you served on other volunteer committees? YES NO If yes, please explain where, when, and what your responsibilities were:

I was a member of the Tualatin Hills Nature Park advisory committee for a couple of years before that group was dissolved. I have been a member of the Natural Resources Advisory Committee since its establishment in 2010, and have served as chair and secretary.

Beyond THPRD, I have served on numerous committees at both the local and national level. Some examples are the board of Friends of Tryon Creek State Park, the committee of Fans of Fanno Creek, and the steering committee of the North American Pollinator Protection Campaign.

5. Please describe any work experience or areas of expertise that you feel would benefit the Advisory Committee:

I have been professionally involved with habitat management, environmental education, and public outreach for three decades. My current job is as communications director for the Xerces Society for Invertebrate Conservation, a Portland-based nonprofit that works across North America.

6. Term of office preferred:

- 2-YEAR TERM or 3-YEAR TERM Please check one



TUALATIN HILLS PARK & RECREATION DISTRICT ADVISORY COMMITTEE APPLICATION

Name: Jack Shorr	Date: February 17, 2015	
Address:	City: Beaverton	Zip: 97008
Phone # (H)	C)	Email:

Advisory Committee you are applying for (you must reside within the Park District boundaries):

Recreation Aquatics Sports Trails Elsie Stuhr Center Historic Facilities
Natural Resources Parks

1. Please explain your interest in serving on the Advisory Committee: I enjoy learning about the Parks NR Programs, contributing to on-going activities and park project developments, supporting my community, and working with fellow Committee members.
2. How long have you lived in the community? Thirty years
3. Have you or your family participated in any Center or other Recreation District activities? **In years past my sons played Rec. basketball, while I coached. I also volunteer in the Adopt A Park Program.**
4. Have you served on other volunteer committees? YES NO If yes, please explain where, when, and what your responsibilities were:
5. Please describe any work experience or areas of expertise that you feel would benefit the Advisory Committee:
I am a Master Gardener, Master Watershed Steward, and a Master Naturalist- Willamette Valley Ecoregion Specialization
6. Term of office preferred:
2-YEAR TERM or 3-YEAR TERM Please check one



Tualatin Hills Park & Recreation District
PARKS & FACILITIES
PROPOSED ADVISORY COMMITTEE ROSTER

Last Updated: 11/24/2015

<i>Committee Member</i>	<i>Member Since</i>	<i>Term Expires</i>
Kevin Apperson	July 2006	3 years
Virginia Bruce	March 2012	2 years
Steve Pearson	Nov 2014	3 years
Sue Rimkeit	June 2011	3 years
Sharad Mishra	New Applicant	2 years
Krista Mancuso	New Applicant	2 years
Nanda Siddaiah	New Applicant	3 years
Galit Pinker	New Applicant	2 years
Layton Rosencrane	New Applicant	3 years
<i>Staff Liaison</i>	<i>Representing</i>	<i>Term Expires</i>
Jon Campbell	THPRD	n/a



TUALATIN HILLS PARK & RECREATION DISTRICT
ADVISORY COMMITTEE APPLICATION

Name: Kevin Apperson	Date: 2/12/2014
Address:	City: Zip:
Phone # (H) _____ (WK) _____ (CELL) _____	
Email:	

Advisory Committee you are applying for:
(You must reside within the Park District boundaries)

- Recreation Aquatics Sports Trails Elsie Stuhr Center Historic Facilities
Natural Resources Parks

1. Please explain your interest in serving on the Advisory Committee:

Active trail participant (bike, hike, run)

2. How long have you lived in the community? 48 years.

3. Have you or your family participated in any Center or other Recreation District activities?

What:

Sports activities.

When:

Annually.

Where:

Athletic Ctr., PCC R.C. fields, HTC fields

Number of Years: 20 years

***CONTINUES ON NEXT PAGE**

**TUALATIN HILLS PARK & RECREATION DISTRICT
ADVISORY COMMITTEE APPLICATION**

4. Have you served on other volunteer committees? YES NO If yes, please explain where, when, and what your responsibilities were:

Currently serving on Trails Committee

5. Please describe any work experience or areas of expertise that you feel would benefit the Advisory Committee:

Landscape Arch – design/construct trail facilities

6. Term of Office preferred:

2-YEAR TERM or 3-YEAR TERM *Please check one*

Volunteer Profile

Virginia Bruce

11.18.15

Name

Last name: Bruce
First name: Virginia

Status: Active

Preferred name (nickname, other):

Address

Street 1:
City:
State:

Primary:
Email:

Sites

Committees and Friends Groups
Special Events

Natural Resources Department

Personal

Date of birth:
Age:
Gender:
T-Shirt Size:

Assignments

Assignment	Role
Invasive Plant Removal [Natural Resources Department\Restoration & Litter Pick-Up]	Former
Face Painters (Age 14 and above) [Special Events\Concert in the Park]	Former
Cedar Mill Park [Natural Resources Department\Restoration & Litter Pick-Up]	Former
Bluffs Park [Natural Resources Department\Restoration & Litter Pick-Up]	Former
Parks Advisory Committee [Committees and Friends Groups\Advisory Committee]	Assigned

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

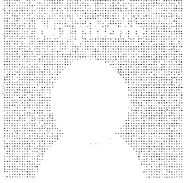
[REDACTED]

[REDACTED]

Volunteer Profile

Stephen Pearson

11.18.15



Name

Last name: Pearson

First name: Stephen

Status: Inactive

Preferred name (nickname, other):

Address

Street 1:

City:

State:

Primary:

Email:

Sites

Committees and Friends Groups

Assignments

Assignment

Parks Advisory Committee [Committees and Friends Groups\Advisory Committee]

Bond Oversight Committee [Committees and Friends Groups\Advisory Committee]

Budget Committee [Committees and Friends Groups\Advisory Committee]

Role

Preference

Former

Preference

Emergency contact

No activity in over a year. Archived.

8-21-14

AW

Park Advisory application:

Please explain your interest in serving on the Advisory Committee

Currently on Bond oversight and budget committees--want to expand my fiscal knowledge into more tangible understanding of parks, and also use my previous experience at Portland Parks & Rec

How long have you lived in the community?

23 years

What park district facilities, classes, or activities have you used? Please note the time period, location, and frequency of use.

Skip this question if it does not pertain to you.

Commonwealth park-occasionally

Nature Park-occasionally

bike trails-occasionally

If you have served on other volunteer committees please explain where, when, and what your responsibilities were. Skip this question if it does not pertain to you.

THPRD-bond planning committee-2007/08

THPRD-bond oversight committee-current

THPRD-budget committee-current

Beaverton School District-elected and appointed community outreach rep-conncet school w community

Lan Su Garden-docent and garden host-current

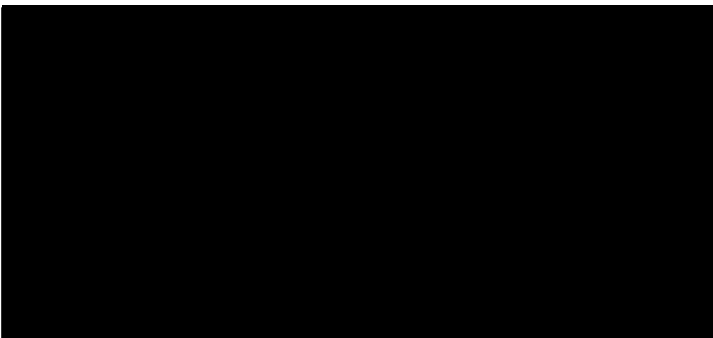
Tualatin Valley Water-budget committee and board member-around 2006

Please describe any work experience or areas of expertise that you feel would benefit the Advisory Committee:

Other information:

Lan Su Garden docent--sense of purpose and place for gardens should translate to parks at THPRD

Portland Parks and Rec-cap budget senior analyst





TUALATIN HILLS PARK & RECREATION DISTRICT ADVISORY COMMITTEE APPLICATION

Name: <i>Sue Rimkeit</i>		Date: <i>5/14/11</i>
Address:	City:	Zip:
Phone # _____	(H) _____	(WK) _____ (CELL) _____
Email: _____		

Advisory Committee you are applying for:
(You must reside within the Park District boundaries)

- Recreation Aquatics Sports Trails Elsie Stuhr Center Historic Facilities
 Natural Resources Parks

1. Please explain your interest in serving on the Advisory Committee:

I believe in giving back to the community. I moved from Lake Oswego in to Lynda Park which is right next to Vista Brook Park and the Fanno Creek connector trail. I believe in neighborhood parks and enjoy the diversity of people that use the parks. I see parks as a place where community and family can come together to exercise, play sports, appreciate nature and walk their pets. I have been involved in community boards and committees in the past and miss the participation.

2. How long have you lived in the community?

4 years

3. Have you or your family participated in any Center or other Recreation District activities?

I have had limited participation in the THPR activities. I do play tennis at the tennis center and do use the tennis courts in the various parks and schools. When teaching H&PE for the Beaverton School District I appreciated THPR stepping in to fill the void that was left with budget cuts that occurred in I think the nineteen eighties. I think there is a wonderful shared use of facilities.

When Elsie Stuhr was a live she recommended me to serve on the Tennis Committee that help develop the present tennis center. I had to leave the committee early as my husband was transferred to Vermont.

Number of Years:

*CONTINUES ON NEXT PAGE

Tualatin Hills Park & Recreation District, 15707 SW Walker Road, Beaverton 97006
503/645-7846 fax 503/629-6301

TUALATIN HILLS PARK & RECREATION DISTRICT
ADVISORY COMMITTEE APPLICATION

4. Have you served on other volunteer committees? YES NO If yes, please explain where, when, and what your responsibilities were:

Governors DUII Board in the mid to late nineties. (Three terms)

Beaverton Together (Three or four Years)

Lake Oswego Park and Recreation Advisory Board in the mid to late nineties. (three terms)

Lake Oswego Adult Community Advisory Board (one year)

5. Please describe any work experience or areas of expertise that you feel would benefit the Advisory Committee:

I have a masters degree in education and taught thirty-three years in Beaverton. Part of my college background and work experience was in camp counseling. I have a love of nature and out door activities. My first twenty five years of teaching was in Health and Physical Education. The last part of my career was as Student Assistance Facilitator, Drug and Alcohol Prevention, and Assisting Campus Supervision. This background, has given me experience in the field of recreation its values and needs of various age groups. I also have knowledge of safety considerations and concerns about gang activity.

6. Term of Office preferred:
2-YEAR TERM or 3-YEAR TERM Please check one

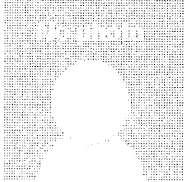
Tualatin Hills Park & Recreation District, 15707 SW Walker Road, Beaverton 97006
503/645-7846 fax 503/629-6301

Volunteer Profile

Sharad Mishra

11.3.15

Sharad wants to volunteer for the Parks & Facilities Advisory Committee.



Name

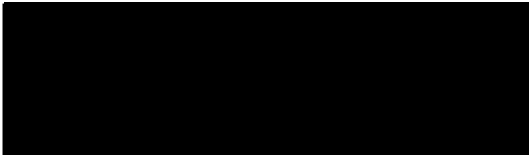
Last name: Mishra

First name: Sharad

Status: Active

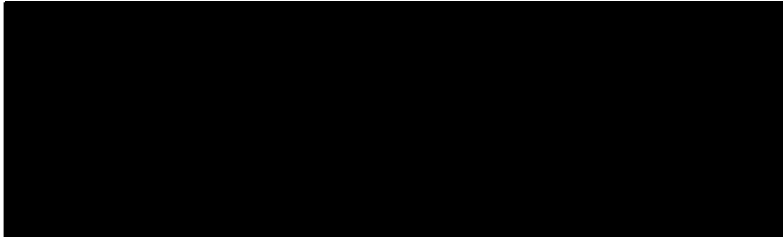
Preferred name (nickname, other):

Address



Sites

Committees and Friends Groups



Notes

11.2.15

KJN

AC

Question 1

I moved to Portland metro area in 1998 and have used most of THPRD facilities since then. This is my 17th year as a 'frequent user card' holder. Both my kids were born here and learned to swim and play different sports at THPRD facilities. They participated in THPRD Dive, swim, Synchro, waterpolo clubs. They now use THPRD for high school team activities. My daughter is a Jr Lifeguard and has already clocked 149 hours of volunteer work. My son volunteers at CHRC summer camps. I swam with Barracudas (masters swim club at THPRD) for 4 years and still swim laps 3 times a week at Sunset, 50 Mtr, Aloha and Connestoga. I went for voluntary annexation of my property 6 years back. My family and I have benefitted so much from the district that I feel its my turn to give it back. Since I have used gym, classes, camps, pools at almost all THPRD facilities and have worked with staff members that I think I can contribute in improving our parks and facilities.

Question 2

18+ years.

Question 3

T Hills Aquatics - 18 years
T Hills Athletics - Badminton, Basketball, Volleyball, running track, babysitting facility for 18 years
T Hills indoor Tennis - During rainy seasons between 2002 - 2008
Sunset pool - 18 years
Aloha pool - 18 years
Connestoga gym and pool - 18 years
CHRC gym and weight room - 18 years
Outdoor pool at Somerset West - summers
Beaverton pool - 2002-2008
HArman - 2002 - 2008
PArty in the park - last 5 years or so
Family Triathlon - First 4 years
Concerts in the park - summers
Summers plays in parks
Summer camps at CHRC - 2002 - 2008
Summer tennis camp at sunset high tennis court - 2006-2009
Connestoga tennis and sports camp - 2006-2008
Kids sports camp and classes at Athletics center, Connestoga and CHRC
Art classes at CHRC
Music classes at CHRC
I learned to play guitar at one of the adult guitar group lesson at CHRC
Pilates, Aerobics and yoga classes at CHRC
Most open tennis courts around town
Walk regularly on trails at nature park and near my house (watehouse powerline trails).

Question 5

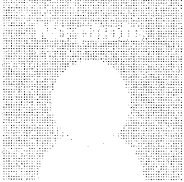
As you can see I am a huge user of THPRD facilities. I think this valuable experience will benefit the advisory committee.

Volunteer Profile

Krista Mancuso

11.6.15

Krista Mancuso is interested in participating in the Parks & Facilities Advisory Committees.



Name

Last name: Mancuso

First name: Krista

Status: Active

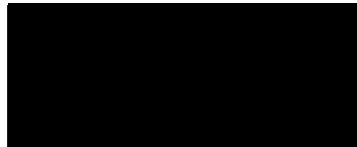
Preferred name (nickname, other):

Address



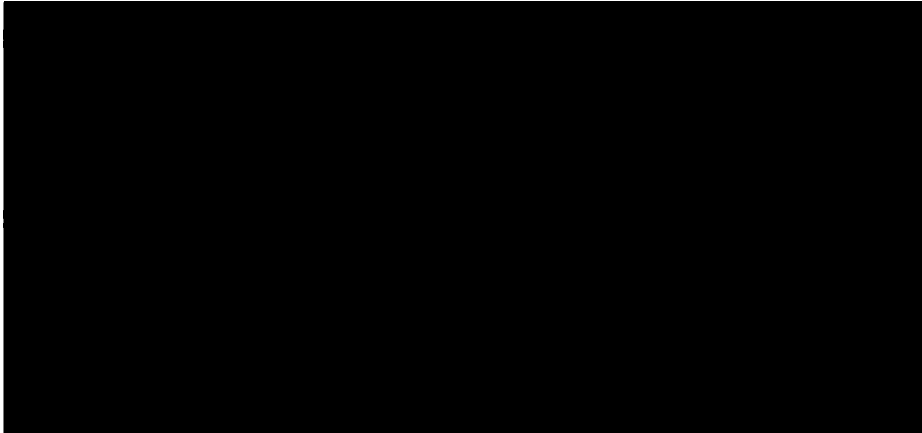
Primary:

Email:



Sites

Committees and Friends Groups



Notes

11.5.15

KJN

Advisory

Question 1

My family moved into this neighborhood last January after buying our first home with the intention of planting roots here and being part of our community. We love the parks, the Conestoga Recreation Center, and Beaverton. I would like to be a part of continuing the work of making Beaverton a great place to live for all citizens. As to the Parks & Facilities committee, I found the listed subjects to areas of interest: I enjoy gardening, I am a strong supporter of sports, I believe in the value of the parks and facilities, and I know that the buildings and accessibility are important to the community members.

Question 2

I purchased a home in this neighborhood last January (that I currently live in).

Question 3

My toddler son has done multiple swimming lessons at Conestoga Recreation Center. He is currently enrolled in his second session of Playschool at Conestoga Recreation Center on Mondays, Wednesdays, and Fridays. This past summer we attended the Big Truck Day at Conestoga Recreation Center, THPRD Party in the Park at HMT Recreation Complex, and the Summer Concert in the Park at Greenway Park.

Question 4

I have volunteered with the Portia Project in 2007-2009, which provided legal assistance to incarcerated women; the Student Hurricane Network in 2009, which provided legal assistance to those impacted by Hurricane Katrina in New Orleans; and various organizations while attending law school at the University of Oregon School of Law that planned events and fundraisers.

Question 5

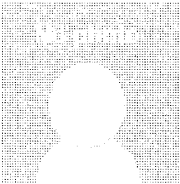
I practiced law for two years before taking a little time off to be home with my two small children (a 2-year old and a 4-month old). I have a good eye for detail and the ability to multi-task. I have also worked in high-pressure situations and with diverse populations throughout my professional career (those facing homelessness as a development associate at a non-profit, students with disabilities as a Best Buddies Program Manager, victims of domestic violence and sexual assault as an advocate for the Marine Corps, and the public and Oregon Legislators as a committee assistant). I am excited to bring whatever experience I can to the team, whether that means baking my almost-famous chocolate chip cookies or spending days making signs for events.

Volunteer Profile

Nanda Siddaiah

10.20.15

Nanda is interested in all three advisory committees.



Name

Last name: Siddaiah

First name: Nanda

Preferred name (nickname, other): Nanda

Status: Active

Address

Street 1:

City:

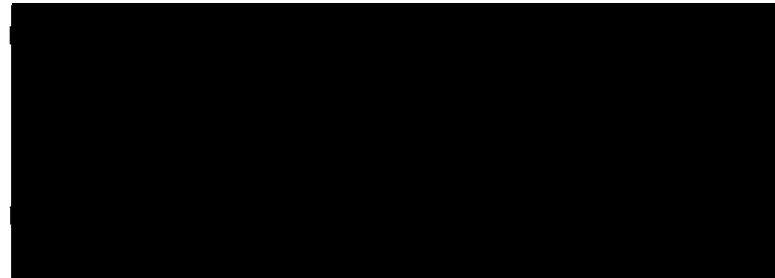
State:

Primary:

Email:

Sites

Committees and Friends Groups



Notes

10.19.15

KJN

Committees

Question 1

Our family has directly benefited from the variety of facilities offered in the THPRD umbrella. Am looking forward to contribute in a way possible, to continue to make this better as well as last for a long time!

Question 2

18yrs 4 months

Question 3

THPRD - Tennis Center - 1-2 times per week

Neighborhood Tennis courts - 1-2 times per week during the summer

Swim centers - classes as well as recreational

Many of the trails as part of the network - mostly the Rock creek trail

Question 4

1. ears as a member of the Jacob Wismer elementary Local school council - worked with school and local groups (and THPRD) to share school resources after hours for classes, workshops etc.

Question 5

long time employee at Intel corporation, and as an Engineering manager for the last 8 years. Have worked with a diverse team (local as cross-site), and experience with resource planning, schedule and technical management.

Volunteer Profile

Galit Pinker

11.6.15

Galit Pinker is interested in participating in the Parks & Facilities and Nature & Trails Advisory Committees.

Name

Last name: Pinker

First name: Galit

Status: Active

Preferred name (nickname, other):

Address

Street 1:

City:

State:

Primary:

Email:

Sites

Committees and Friends Groups

Notes

11.5.15

KJN

Advisory

Question 1

I have 3 kids. Would like them to grow in a safe environment with opportunities to enjoy nature. I just graduated masters degree in Occupational health therapy and with my experience as physical therapist and working for years with special needs...I think I can help creating a better accessibility for all.

Question 2

6 month at the NW7 years at the SW

Question 3

Bethany parks

Question 5

12 years as physical therapist in rehabilitation and in social needs facility. Masters in Occupational health therapy. A mother for three kids who needs to get to the park.....

Volunteer Profile

Layton Rosencrance

10.12.15

Layton would like to serve on the advisory committee.

Name

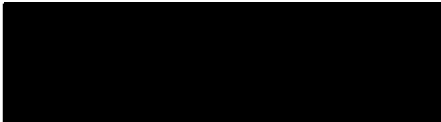
Last name: Rosencrance

First name: Layton

Status: Active

Preferred name (nickname, other): Layton

Address



Primary:

Email:

Sites

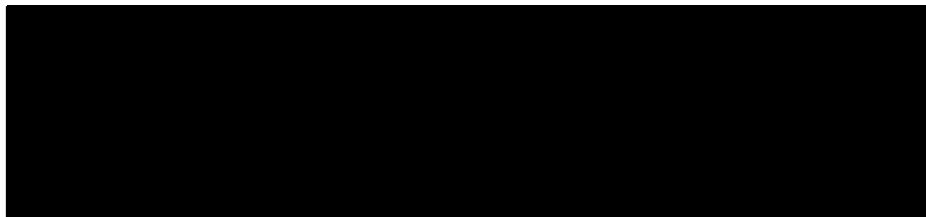
Cedar Hills Recreation Center

Conestoga Recreation & Aquatic Center

Special Events

Committees and Friends Groups

Elsie Stuhr Center



Assignments

Assignment

Role

Parking Attendant (Age 18 or above) [Special Events\Concert in the Park]

Former

Greeter/Survey Taker (Age 16 and above) [Special Events\Concert in the Park]

Former

Security Attendant (Age 18 or above) [Special Events\Concert in the Park]

Former

Big Truck Day [Conestoga Recreation & Aquatic Center\Conestoga Special Events]

Former

#CHills 5K Run/Walk [Cedar Hills Recreation Center\Cedar Hills Special Events]

Assigned

Emergency contact

Notes

10.2.15

KJN

Interested in the Parks and Facilities Advisory Committee.

Question 1

I would like to have the opportunity to share thoughts and ideas for continuing the great parks and facilities we enjoy in this district.

Question 2

24 years

Question 3

Park trails, almost daily. Several of the park facilities for events and activities.

Question 4

I am currently on the Rock Creek Community Association Board. We maintain and enhance the entrances to Rock Creek Development areas. In addition to enhancing the appearance of the entrances, we have been instrument in developing several neighborhood activities such as the Community wide National Night Out and our annual community garage sale.

Question 5

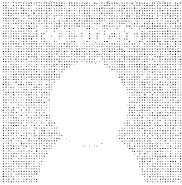
15 plus years of executive management experience with Fortune 500 company.

Volunteer Profile

Kevin Bebb

8.20.15

Kevin would like to serve on the parks advisory committee. Please contact him with more information about the opportunity.



Name

Last name: Bebb
First name: Kevin

Status: Active

Preferred name (nickname, other):

Address

Street 1:
City:
State:

Primary:
Email:

Sites

Committees and Friends Groups

Notes

8.20.15
KJN
Advisory

Question 1

I have a current interest in serving to improve the mountain bike, scooter and skate board community. I believe the current pump track at the eichler park is inadequate and miss used for its purpose.

Question 2

Almost 32 years.

Question 3

I am a product of this park district. I was raised down the street from your facilities. As a child a

swam at the aloha swim center daily. As a teenager I had my first job. This continued through college. I now live in the district and would like to help where I can to improve the district for my children.

Question 5

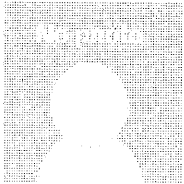
I have been involved in biking and skateboarding as a recreation for much of my life. Recently, I have been able to see the day to day use of the current pump track at Eichler Park. I have seen conflict, alterations to the park and miss use. I have passion to see a better pump track put in place to increase and improve the use of the park.

Volunteer Profile

Ira Halpern

11.3.15

Ira wants to volunteer for the Parks & Facilities Advisory Committee.



Name

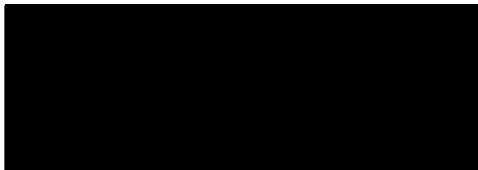
Last name: Halpern

First name: Ira

Preferred name (nickname, other): David

Status: Active

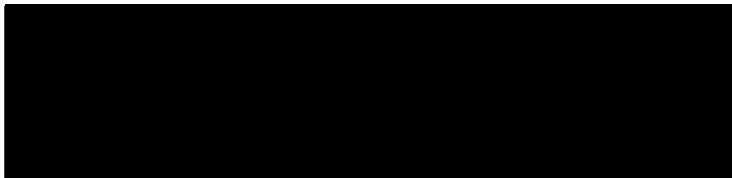
Address



Primary:
Email:

Sites

Committees and Friends Groups



Emergency contact

Notes

11.3.15

KJN

Committees

Question 1

I feel that my past experiences and work history enables me to relate to issues relating to planning, use, maintenance and acquisition of both land and physical plant; this in addition to my wanting to contribute to my community.

Question 2

2 1/2 years

Question 3

I am a frequent attendee at the Harman Swim Center Cardio Core classes (3 classes weekly) and open swim sessions (2 or 3 sessions weekly).

On occasion use various other facilities.

Question 4

Board of Directors, 4164 Inverrary Condo Association, Lauderhill, FL 2007 thru 2011. I shared responsibility for annual budgeting, operation and maintenance of facilities.

Question 5

cost engineer, Stearns Roger, Inc.
assistant to budget director, Ben Gurion University, Beer-Sheva, Israel
Director of Global Net Telecom, during first iraqi War

Volunteer Profile

Leslie Ray

10.24.15

Leslie is interested in volunteering for the Parks and Facilities Advisory Committee.



Name

Last name: Ray

First name: Leslie

Status: Active

Preferred name (nickname, other):

Address

Street 1:

City:

State:

Primary:

Email:

Sites

Committees and Friends Groups

Notes

10.22.15

KJN

Committees

Question 1

I am just wrapping up membership on another board and now have the time for other community activities. My husband and I have taken advantage of several of the facilities over the years and this would be an opportunity to give back a bit.

Question 2

24 years

Question 3

Harman Swim Center Tualatin Hills Nature Park

Question 4

most recent: 2005-2006 volunteer Community Mediator, Beaverton
May 2013-Jan 2015 Co-Lead, Oregon Action Coalition
Jan 2015-current Member Oregon Action Coalition Steering Committee
Current - Volunteer - Washington County Master Gardeners

Question 5

I have expertise in strategic planning, group facilitation, mediation, program development



**Tualatin Hills Park & Recreation District
PROGRAMS & EVENTS
PROPOSED ADVISORY COMMITTEE ROSTER**

Last Updated: 11/24/2015

<i>Committee Member</i>	<i>Member Since</i>	<i>Term Expires</i>
Ralph Becker	New Applicant	3 years
Megan Cohen	New Applicant	2 years
Rochelle Groth	New Applicant	2 years
Bill Kanable*	September 2013	3 years
Susan Nystorm	New Applicant	3 years
Linda Sneddon	New Applicant	2 years
Miranda Summer	New Applicant	3 years
Amy Werner	New Applicant	3 years
Kimberly Wirtz	New Applicant	2 years
<i>Staff Liaison</i>	<i>Representing</i>	<i>Term Expires</i>
Eric Owens	THPRD	n/a

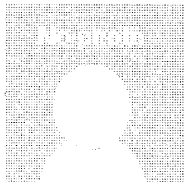
**Application unavailable, returning committee member*

Volunteer Profile

Ralph Becker

11.5.15

Ralph Becker is interested in participating in the Programs & Events Advisory Committee.



Name

Last name: Becker

First name: Ralph

Status: Active

Preferred name (nickname, other):

Address

Street 1:

City:

State:

Primary:

Email:

Sites

Committees and Friends Groups

Emergency contact

Notes

11.4.15

KJN

Advisory

Question 1

We have benefited individually and as a family from the many opportunities and activities THPRD has provided to the community. This is an opportunity to give back and help make it an even better and responsive resource for people in our community and their quality of life.

Question 2

Since 1989

Question 3

Track meets 1990s and early 2000s-Various high school tracks. Swimming-Sunset, Beaverton and Walker Rd, Condestoga and Raleigh Hills Swim centers-early 90s to present. Bike riding and walking, special activities-Tualatin

Hills Nature Park-early 90s to present. Basketball-Walker Rd-early 2000s,Dancing classes-Cedar Hills Center-early 2000s.

Question 5

Coached children's basketball. As a property manager I have experience in conflict resolution; implementing, scheduling and coordinating projects; and interfacing between people and infrastructure to achieve positive outcomes.

Demographic Survey (optional)

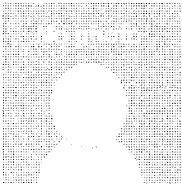
Helping at track meets when my children were younger

Volunteer Profile

Megan Cohen

10.27.15

Megan is interested in volunteering for the Programs and Events Advisory Committee.



Name

Last name: Cohen

First name: Megan

Status: Active

Preferred name (nickname, other):

Address

Street 1:

City:

State:

Primary:

Email:

Sites

Committees and Friends Groups

Notes

10.24.15

KJN

Committees

Question 1

As someone who grew up swimming in THPRD pools and attending THPRD activities and events, I have a passion for the community and for all of the wonderful programs that the district provides. I have been looking to serve on a board, and strongly believe that my background in diversity/inclusion and in recreation make me a strong candidate as an advisory board member. I want to give back in a volunteer capacity, while utilizing my knowledge and professional work experience, and would love to do so for an organization that has contributed to my wellbeing, connection to nature, and sense of community.

Question 2

I have lived in the Tualatin Hills district for over twenty years (with a few exceptions including college

and several months abroad in Ecuador). I have been both living and working in Beaverton for the last three years, and don't have any plan to leave!

Question 3

I have extensively used the aquatic facilities (specifically Harman & Beaverton), and grew up at the Garden Home Rec Center (library, fitness classes). I tend to visit Raleigh Swim Center during the summer, and often visit Cooper Mountain Nature House for quick runs and hikes.

Question 4

I have served on an advisory committee for the Columbia Slough Watershed Council, as they were preparing their first diversity plan for the environmental non-profit. As a board member, I actively volunteered at many canoe/kayak events, helped with outreach, and assisted with Spanish translation where needed.

I also served on the board of EducateYa, which is a Latino-based non-profit. My role was to provide direction for the organization and to provide assistance with fundraising and event outreach. In both cases, I was a resource for equity-related topics and culturally-specific outreach.

As part of my employment, I serve as the staff liaison to Beaverton's Social Service Funding Committee. My role is to facilitate the committee and to ensure a fair and open process for small social service grants to 501c3s.

Question 5

My areas of expertise have been two-fold: equity & inclusion, and aquatics/recreation. My experience has included working as the Cultural Inclusion Specialist for the City of Beaverton, as the Private Lesson Coordinator for the Mittleman JCC, & the Outreach & Events Intern for the Columbia Slough Watershed Council. I have a passion for increasing equity in recreation, particularly in outdoor/water-based activities and have experience in taking the steps to do so, which would greatly benefit the Advisory Committee. I have a lot of experience as a volunteer and managing volunteers, and through my Masters in Public Administration program, I have a strong basis in fiscal management in the public sector. My strengths include a strong understanding of public involvement implementation, cross-cultural communication, and commitment to public service. I bring a lot of enthusiasm for and experience in the Tualatin Hills community, and understand the importance of meeting program delivery goals.

Demographic Survey (optional)

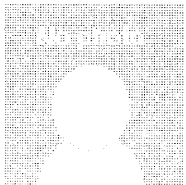
I volunteered for several kid programs (including safety town) when I was younger, and at several events over the years. Most recently, I volunteered at the Beaverton Cultural Festival/Party in the Park event.

Volunteer Profile

Rochelle Groth

11.5.15

Rochelle Groth is interested in participating in the Programs & Events Advisory Committee.



Name

Last name: Groth

First name: Rochelle

Status: Active

Preferred name (nickname, other):

Address

Street 1:

City:

State:

Primary:

Email:

Sites

Committees and Friends Groups

Emergency contact

Notes

11.4.15

KJN

AC

Question 1

I am interested in giving back to the community where I live, which includes my time, resources, and network. I am excited about the programs that THPRD offers and want to contribute my time to an organization which values the outdoors, recreational activities, and giving back to the community.

Question 2

I have lived in the Portland/Beaverton metro area for just over six years. Two of the most recent years I've lived in a house we own on West Slope which is very close to many of Tualatin's Hills facilities.

Question 3

1. My Fiance and I have participated in many of Tualatin Hills recreational areas. These include: Tualatin

Hills Aquatic Center (2x in 2014).

2. Attended many soccer games at Tualatin Hills Recreational Center (50 NW 158th Ave) Wednesday evenings for Fall and Spring- Men's league division 1 (30 over) soccer.

3. We also have a Bernese Mtn dog/Poodle mix that we take to Winkelman Park on Saturdays during the summer months (2015).

Question 4

No direct committee experience but I have volunteered for Doernbecher's Children Hospital:

Activities include Shamrock fair and run (March 2015)

Involved in the shirt/bib distribution and kids booth to hand out treats.

Volunteered at Oregon Food Bank August 2014 by sorting food for 4+ hours.

Question 5

-Various recruiting activities for many businesses located in the district of Tualatin Hills.

-Excellent communication skills both written and verbal.

-Ability to work with many different personalities.

-Accounting and Finance degrees

-Strong Business Acumen

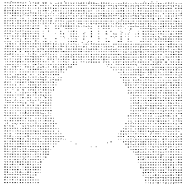
-Live a lifestyle of wellness and love to be outdoors.

Volunteer Profile

Susan Nystrom

10.28.15

Susan is interested in volunteering for the Programs and Events and the Parks and Facilities Advisory Committee.



Name

Last name: Nystrom

First name: Susan

Status: Active

Preferred name (nickname, other): Susan

Address

Street 1:

City:

State:

Primary:

Email:

Sites

Committees and Friends Groups

Notes

10.27.15

KJN

Advisory Committees

Question 1

I've been a participant in activities at Garden Home, Cedar Hill and Elsie Stuhr recreation centers for 25 years. My children and grandchildren have also participated in THPRD classes over the years. We also enjoy the natural areas and frequently walk the nature trails. Over the last few years I've developed a concern that mature (over 40) adults activities have decreased. I'm concerned that the people that support THPRD with their taxes are not being included in the planning for future activities. More mature adults are looking for affordable, entry level exercise programs and are not interested in strenuous athletic classes. Also, seniors, (over 55) athletic needs are not being addressed. Elsie Stuhr is the only THPRD rec center that doesn't have a gym Because of this, team athletic events

such as volleyball, basketball etc are impossible. It is also the only center that is closed on Sundays.

Many seniors are employed during the day and need to have access to exercise facilities on the weekend. I would like to be part of the advisory committee to help THPRD equalize the exercise activities for all age groups and ability levels.

Question 2

I've lived in Beaverton for the last 25 years.

Question 3

I started aerobic classes at Garden Home center around 1990. I also took a ballet class. Classes were twice a week in the evening. I also use the work out room a couple of times a week. I took aerobic classes, conditioning classes and ballroom dance class for about 4 to 5 years. My teenage daughters also took aerobics with me. I always attended at least 2 class a week sometime more during this period. Around 1995 I started gentle aerobics classes at Cedar hills center. My employment location changed and Cedar Hills was more convenient than Garden home. I took step aerobics, other aerobics classes, belly dancing and other exercise classes until I retired in 2010. I generally took 3 to 4 classes a week. Since retirement I've been taking aerobic classes 4 days a week at Elsie Stuhr, Zumba gold class at Stuhr and Zumba Gold at Cedar Hill center. I've also taking other general interest classes

Question 5

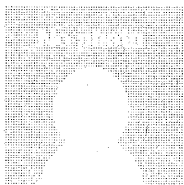
I was a employed as a case manager for Oregon Adult and Family service for 26 years. I developed skills in communication, presentation, analyzing and explaining complex issues, organizing and leading meeting

Volunteer Profile

Linda Sneddon

11.6.15

Linda Sneddon is interested in participating in the Programs & Events Advisory Committees.



Name

Last name: Sneddon

First name: Linda

Status: Active

Preferred name (nickname, other):

Address

Street 1:

City:

State:

Primary:

Email:

Sites

Committees and Friends Groups

Emergency contact

Notes

11.5.15

KJN

Advisory

Question 1

THPRD has always made a strong effort to be inclusive in its programming. I would like to be a part of that moving forward. I also have particular interest in the aquatic program.

Question 2

I have lived in Washington County my entire life and in the Garden Home area for 39 years.

Question 3

Over the past 35 years, I believe that me or our family have used nearly every facility and a good many of the parks and field.

Question 4

Parent Teacher Organizations (15 years), 9 years on Local School Committees; Various BSD Task Forces and Committees; 11 years on the Beaverton Together Board.

Question 5

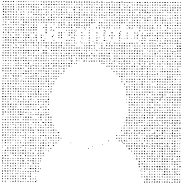
I believe that my knowledge of this ever changing community is the most important thing that I can contribute.

Volunteer Profile

Miranda Summer

10.19.15

Miranda is interested in being on an advisory committee.



Name

Last name: Summer

First name: Miranda

Status: Active

Preferred name (nickname, other):

Address

Street 1:

City:

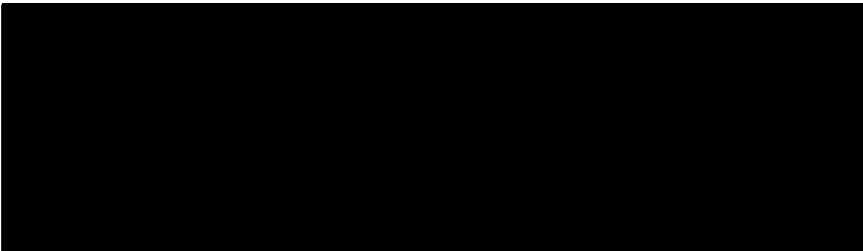
State:

Primary:

Email:

Sites

Committees and Friends Groups



Notes

10.16.19

KJN

Committees

Question 1

As my daughter has grown, we've used the THPD resources more and more. I appreciate all this community has to offer and want to give something back at a very local level.

Question 2

I've lived here since 2007 but moved a year ago to the house I am in now.

Question 3

We use Conestoga rec center the most, for classes and camps for our daughter. We generally have her signed up for one class per session and used the camp option this past summer for the first time. We

use Linear Park for daily walking and have since 2007.

Question 4

I am the chair of the State Board of Education. We implement education policy for our state's school and oversee state charter schools. I am also on the board of the local chapter of the American Constitution Society, which promotes progressive vision of our law and the US Constitution.

Question 5

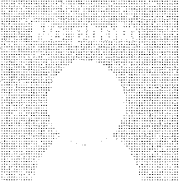
My prior committee/board work has offered me the experience of event organizing. My work at the board of education and my day job as a lawyer allows me to develop policies or interpret rules to advance the committee's goals.

Volunteer Profile

Amy Werner

11.6.15

Amy Werner is interested in participating in the Programs & Events Advisory Committees.



Name

Last name: Werner

First name: Amy

Status: Active

Preferred name (nickname, other):

Address

Street 1:

City:

State:

Primary:

Email:

Sites

Cedar Hills Recreation Center
Garden Home Recreation Center
HMT Athletic Center

Conestoga Recreation & Aquatic Center
HMT Aquatic Center
Special Events

Notes

11.5.15

KJN

Advisory

Question 1

I have a strong passion in programs and events. In recent years I was a manger at the University of Oregon Recreation Center. I was involved in the event preparation at THPRD when I was an employee there. I enjoy being part of the community and would like to be a positive impact.

Question 2

Since 2012

Question 3

I attend the summer concert series, Party in the park each summer. I have gone to conestoga and cedar hills family events with friends and family members, such as pumpkin hunt and big truck day.

Question 4

I have been on the leadership team for Nike's Oregon Special Olympics meets. For two years I helped maintain a working relationship with SOOR. I helped with special events on NIKE's campus for volunteers.

Question 5

My expertise is having working knowledge of what goes into programing for special events and classes.

Question 1

I want to enrich my community with all possible resources. I have been on the board of directors for multiple companies.

Question 2

I have lived in the community for over 10 years.

Question 3

We go to Groovin' on the grass and other concerts in the park during the summer.

Question 4

Volunteer Nike Committee Beaverton, OR 2000 responsible for providing public oversight of budget preparations, recommending changes to the proposed budget, and informing the public about district business and operations.

Question 5

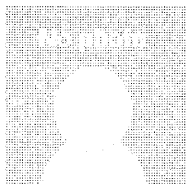
NA

Volunteer Profile

Kimberly Wirtz

11.3.15

Kimberly wants to volunteer for the Programs & Events Advisory Committee.



Name

Last name: Wirtz

First name: Kimberly

Status: Active

Preferred name (nickname, other): Kim

Address

Street 1:

City:

State:

Primary:

Email:

Sites

Committees and Friends Groups

Notes

11.3.15

KJN

COmmitees

Question 1

I have used THPRD facilities and attended events for several years. THPRD is an organization I would like to give back to.

Question 2

18 years

Question 3

Cedar Hills Rec Center - workout classes - try to be there weekly;

Garden Home Rec Center - every two weeks - I belong to The Beat Goes On Marching Band, and THPRD is generously allowing us to use the facility for our practices;

Sunset Swim Center - occasionally;
Elsie Stuhr Center - occasionally for events;
Nature Park - occasionally

Question 4

N/A

Question 5

I have a history of 35 years in the health insurance business community, working in sales & marketing, event planning and execution, regulatory compliance, public policy, with some background in strategic planning and project management.



[10B]

MEMO

DATE: November 20, 2015
TO: Doug Menke, General Manager
FROM: Keith Hobson, Director of Business & Facilities

RE: Resolution Naming Recently Acquired Park Property

Introduction

District staff propose board approval of a resolution naming three recently acquired park properties. These properties include a neighborhood park in South Beaverton, and a neighborhood park and a natural area in the Cedar Mill area. These naming recommendations follow extensive public outreach to park neighbors and community groups, and are consistent with District Compiled Policies (DCP) 8.05, Naming of District Property.

Background

The property in South Beaverton is a 1.2-acre neighborhood park located just east of SW Murray Boulevard at the corner of SW Weir Road and SW Old Weir Road. The park offers recreational amenities including play equipment, picnic areas and open lawn areas. The district, in partnership with the City of Beaverton, purchased the fully improved park from developer Polygon Northwest in May 2014.

The neighborhood park in the Cedar Mill area is a one-acre park located centrally within the Timberland development at the corner of NW 118th Avenue and NW Stone Mountain Lane. The park offers recreational amenities including a public plaza, splash pad, play equipment, and open lawn areas. The district acquired this fully improved park from developer Polygon Northwest in June 2015 through a System Development Charge (SDC) fee/credit project for various land donations containing park and trail improvements within the Timberland development. The board approved a master plan for the Timberland Parks & Trails SDC project in 2004 and the district implemented a Memorandum of Understanding (MOU) with the developer in 2009.

The natural area in Cedar Mill is an 8.77-acre site located in the southeast corner of the Timberland development at NW 116th Avenue and NW Cedar Falls Drive. The site offers recreational trail amenities including a portion of the Cedar Mill Creek Trail. The site contains significant natural resources and two large storm water ponds, and offers recreational opportunities such as hiking and wildlife viewing. The district acquired this fully improved natural area from developer Polygon Northwest in August 2015 through the same Timberland Parks & Trails SDC project noted above.

The natural area site also contains a historical survey control point established in 1851 to demark the Willamette Baseline, which runs east/west along the site's southern property boundary. The intersection of the Willamette Meridian and Baseline is the initial survey point for all of Oregon and Washington.

In December 2005, the board approved the name “Cedar Mill Creek Trail” for the trail that would loop around the Timberland development. The district’s 2006 Trails Plan and 2015 draft Trails Functional Plan reflect this approved trail name. Also in December 2005, the board deferred the naming of the central neighborhood park within the Timberland development until the developer named the project, which was later named Timberland. In March 2006, the board approved the name “Sue Conger Boardwalk & Overlook” for the boardwalk with an overlook deck that has now also been constructed directly east of the John Quincy Adams Young House property within the Cedar Mill Creek corridor in conjunction with the Timberland parks & trails SDC project.

In November 2012, staff proposed names for the remaining four properties associated with the Timberland parks & trails SDC project. At that time, the board approved two of the four proposed names for the Cedar Mill Creek Greenway and the Cedar Mill Creek Overlook Park both located along the west side of the Timberland development, but directed staff to conduct additional public outreach for the neighborhood park and natural area, as well as a comprehensive review of the district’s naming policy. Staff have now completed the additional outreach and policy work, and is returning for board approval of proposed names.

District Compiled Policies (DCP) 8.05, Naming of District Property, directs that district properties be named or renamed so as to best serve the interests of the district and its residents and ensure a worthy and enduring legacy for the district’s park and recreation system. To that end it specifies that naming requests be consistent with one of three categories.

1. *Historic Events, People, and Places, which includes naming consistent with prominent geographical locations*
2. *Outstanding Individuals*
3. *Donors*

From August to November 2015, staff conducted public outreach to property neighbors, community groups, advisory committees, and interested parties for the naming of all three properties proposed herein. An initial eight-week period of outreach solicited name suggestions. Staff then developed name recommendations based on the public outreach, and this was followed by a three-week period of outreach seeking feedback on these recommendations. There was no additional community feedback that was received during the three-week outreach period with the staff recommended names for the sites.

Proposal Request

For the neighborhood park in South Beaverton, staff recommend the name Steeplechase Park. In this case, outreach revealed strong public support for a name that reflects a horse theme, which is also consistent with the street naming theme in the area. Steeplechase reflects the historic name of the adjacent neighborhood and is also a street name within that neighborhood. There are two other nearby district parks, Wildhorse Park and Buckskin Park, which are named after adjacent streets which are also consistent with the horse naming theme in the area.

For the neighborhood park in the Cedar Mill area, staff recommend the name Timberland Park due to its predominant location within the Timberland development and a belief that the community will continue to identify well with this name. It is worth noting in this case that staff received a request to name the park Leonard Uppinghouse Park after one of the district’s original board members. This request came from Mr. Uppinghouse’s granddaughter, and the staff reasons for not recommending this name are noted alongside the request in the public comment summary, which will be provided to the board prior to the December 7 meeting.

For the natural area in Cedar Mill, staff recommend the name Cedar Mill Creek Greenway. This is consistent with the district's site naming classifications which encourages consolidating site and trail names for sites that are functionally linked. The Cedar Mill Creek Trail runs through this natural area site, and the greenway along the west side of the Timberland development is already named Cedar Mill Creek Greenway for which the trail is aptly named. In addition to this name recommendation, based on public input received, staff are also recommending that an interpretive sign be installed at this site to commemorate the site's historical significance of the Willamette Meridian and Baseline and the original survey work of William Ives.

Staff are requesting board of directors' approval of the attached resolution which calls for the naming of three recently acquired park properties as Steeplechase Park, Timberland Park, and Cedar Mill Creek Greenway.

Benefits of Proposal

Naming the properties as proposed would be consistent with DCP 8.05 for Naming of District Property and would promote a worthy and enduring legacy for the district's park and recreation system.

Potential Downside of Proposal

There is no apparent downside to the proposed names.

Maintenance Impact

The cost of site identification signage will be the responsibility of the developer in return for SDC project credit. The district may incur minor costs for future sign maintenance.

Action Requested

Board of directors' approval of Resolution 2015-20, naming recently acquired park properties as Steeplechase Park, Timberland Park, and Cedar Mill Creek Greenway.

RESOLUTION 2015-20

**A RESOLUTION OF THE TUALATIN HILLS PARK & RECREATION DISTRICT
BOARD OF DIRECTORS NAMING RECENTLY ACQUIRED PARK PROPERTY**

WHEREAS, the Tualatin Hills Park & Recreation District Board of Directors adopted District Compiled Policies (DCP) to guide its consideration of various district operational matters including the naming of district-owned properties.

WHEREAS, the district has acquired three new properties, has conducted public outreach to solicit suggestions for naming these three properties, and has subsequently recommended names for all three properties and conducted additional public outreach to solicit feedback on these name recommendations.

WHEREAS, consistent with DCP 8.05 inasmuch as the names preserve and honor the history of the district and the communities it serves; and, considers each site's history, geographical location, and natural features.

NOW THEREFORE, based on the foregoing, the Tualatin Hills Park & Recreation District hereby resolves as follows:

Section 1. That the neighborhood park located in South Beaverton be named Steeplechase Park, that the neighborhood park located in the Cedar Mill area's Timberland Development be named Timberland Park, and that the natural area located in the Cedar Mill area's Timberland Development be named Cedar Mill Creek Greenway; and the general manager and staff are to take such steps as are deemed by them as necessary to effect said names in a timely manner.

Section 2. That this resolution is and shall be effective from and after its passage by the board.




Approved and adopted on December 7, 2015 by the Tualatin Hills Park & Recreation District Board of Directors.

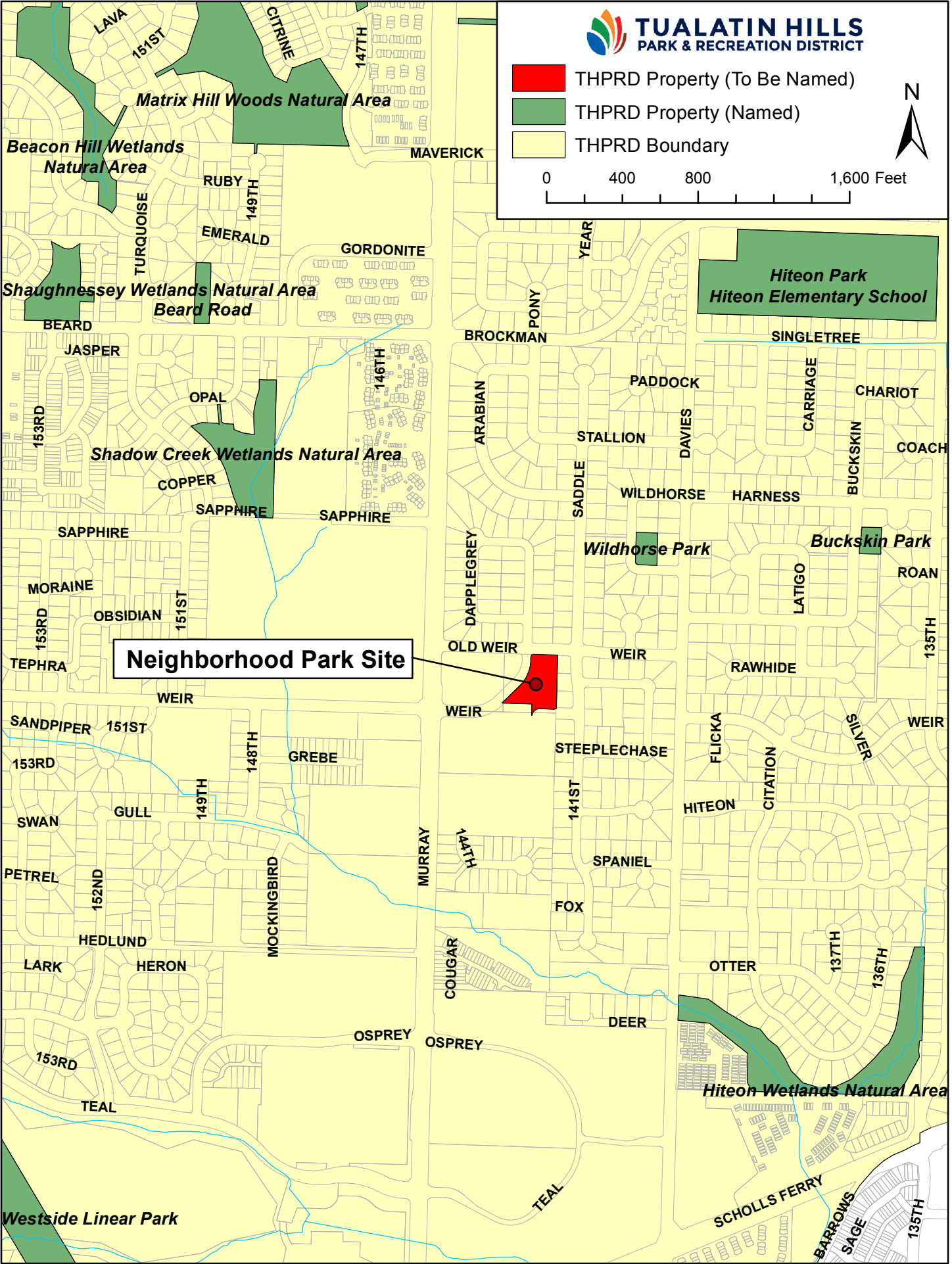
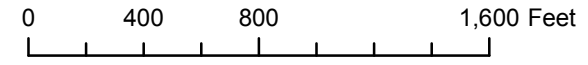
Larry Pelatt, President

Jerry Jones Jr., Secretary

ATTEST:

Jessica Collins, Recording Secretary

-  THPRD Property (To Be Named)
-  THPRD Property (Named)
-  THPRD Boundary



Neighborhood Park Site

Hiteon Park
Hiteon Elementary School

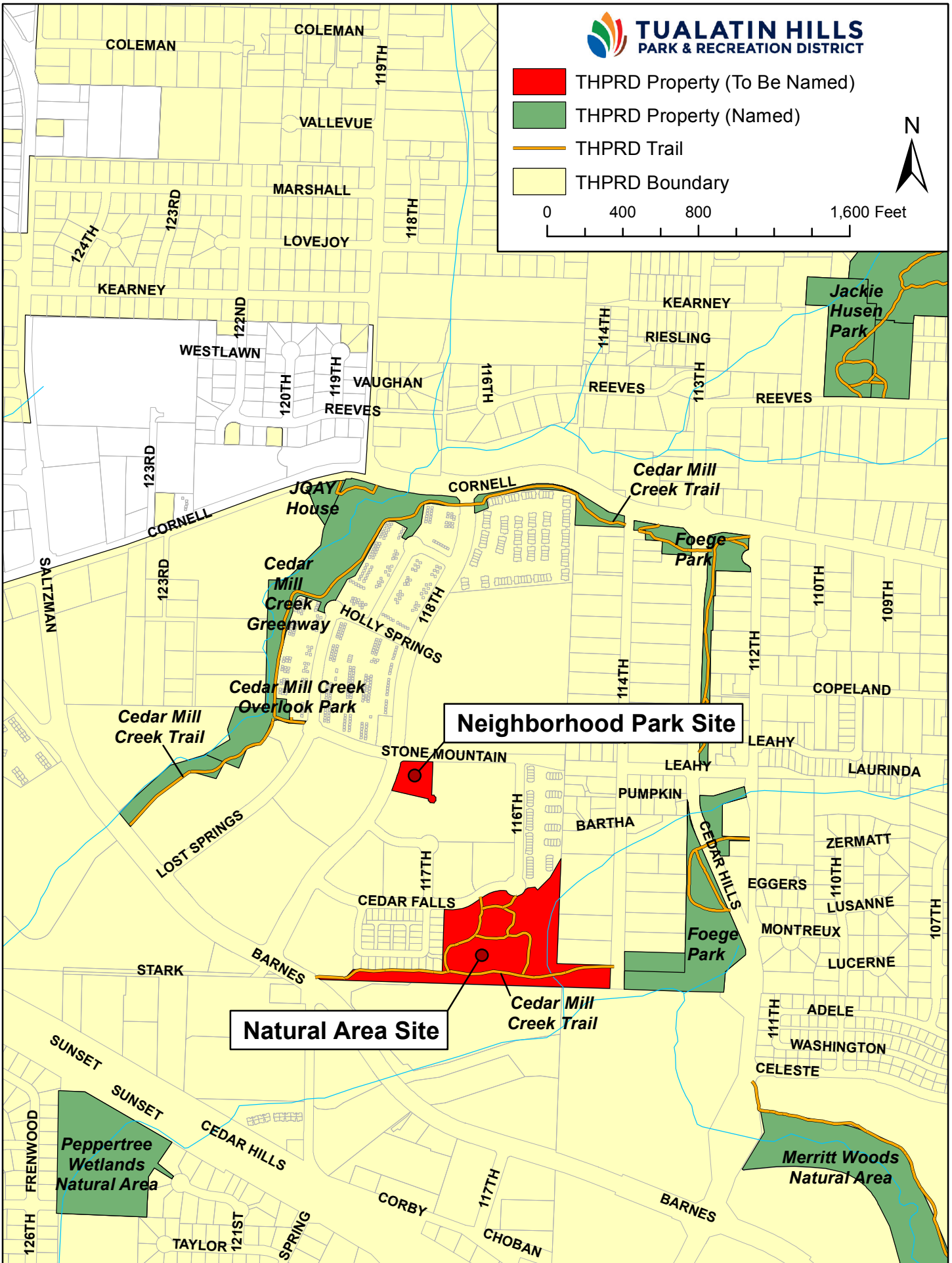
Hiteon Wetlands Natural Area

Westside Linear Park

- THPRD Property (To Be Named)
- THPRD Property (Named)
- THPRD Trail
- THPRD Boundary



0 400 800 1,600 Feet





Management Report to the Board December 7, 2015

Communications & Outreach

Bob Wayt, Director of Communications & Outreach

1. Patrons interested in signing up for winter classes can view THPRD's winter/spring activities guide online (www.thprd.org) or in print at any center, the Administration Office or certain community sites, including Beaverton-area libraries. A postcard was mailed to Beaverton-area residents to inform them about the new guide and promote the broad array of classes offered by the park district. Registration starts December 12 for in-district residents, December 14 for those outside THPRD boundaries.
2. The park district is again working to create a brighter holiday season for low-income children and families in the Beaverton area. THPRD is collecting toys, clothing and other items for families identified by the Beaverton School District. THPRD is also taking donations for the Oregon Food Bank. The public is invited to join employees in this meaningful effort, which ends December 18.

Community Partnerships

Geoff Roach, Director of Community Partnerships

1. Overview: The project team has secured 74% of the Access for All capital revenues to be invested in park features and resources for people with disabilities (inclusive of revenues to support fundraising costs). An additional \$200,000 will be raised to support program and equipment costs. The project team aims to secure a minimum of 85% of Access for All capital fundraising by the time the construction contract bid award is made for the park in early 2016. Developments for October and November 2015 include:
 - A. Foundations
 - i. New developments include receiving grant awards of \$20,000 from The Standard and \$5,000 from the Rotary Club of Beaverton.
 - ii. Awaiting news on an additional grant submittal and expecting to know more by December.
 - iii. Application submittal schedule for emerging foundations is understood.
 - iv. Strategic cultivation of priority foundations is proceeding.
 - B. Individual donor prospects
 - i. Calls and meetings with donor prospects continue.
 - ii. New donor, THPF board of trustee and Champions Council prospects are identified and cultivation is underway.

Aquatics

Sharon Hoffmeister, Superintendent of Aquatic Program Services

1. Pam's Party at Beaverton Swim Center has become very popular. This year marked the 9th year of Pam's Party, where the host, Pam Gross, rents the pool for her birthday party and instead of receiving gifts from friends, she raises money and collects food donations for the Oregon Food Bank and families at Vose Elementary School. Attendees enjoy swimming, AquaZumba and Deep Water Aerobics, cake and ice cream. At this year's event, 65 attendees donated \$2,000 and 100 cans/boxes of food for the food bank. In the past eight years, this event has raised \$15,000 in cash for the Oregon Food Bank and a ton or so of food donations, plus loads of toys for families of Vose Elementary School who are recipients of Southminster Presbyterian's Christmas Basket program.

2. Sunset Swim Center is partnering with the Stuhr Center to bring the Wellness on Wheels van to Sunset twice per week and offering Strength Focus class at the center for adults aged 55 and better. This has been well received by the water fitness participants at Sunset, where they are able to attend their water fitness class in the morning and then attend the land-based class conveniently located in the classroom at Sunset. Staff is currently working on marketing the program and hopefully expand the opportunities in the future.

Maintenance

Jon Campbell, Superintendent of Maintenance Operations

1. The Greenway Park pedestrian foot bridge replacement project is complete. The 40-year-old bridge located in the northwest section of the park was replaced with a wider and higher style bridge. The extra width will allow more room for users, and the additional 18" off the water will reduce the chance of water-to-wood contact which can lead to wood rot.



2. Maintenance staff are preparing for inclement weather days. Each of the Parks and Athletic Facilities staff has been assigned to a facility, and will report there on inclement weather days. The additional support will be used to get the buildings safe and ready to open for our patrons. Additional support may include snow or ice removal, helping with interior cleaning or projects.
3. Maintenance will be replacing the signs at priority park and trail sites this winter. Our goal is to continue implementing the conversion to the new signage master plan by replacing approximately 325 signs at 62 sites by the end of February. The selected parks and trails are high-use sites and have multiple signs to replace at each location.
4. THPRD and the Portland Rose Society entered into an agreement to create a memorial rose garden at Veterans Memorial Park. THPRD staff will prepare an existing landscape area in the south corner of the property (SW Watson Ave. & SW Washington Ave.) that will support rose bushes. Gardeners will be responsible for supplying, replacing and maintaining the rose bushes within the designated area. The American Legion Post 124 was consulted on the proposal and supports the creation of the rose garden.

Natural Resources & Trails Management

Bruce Barbarasch, Superintendent of Natural Resources & Trails Management

1. Fanno Creek Greenway. Staff have been removing weeds and improving wildlife habitat along the greenway in partnership with Clean Water Services. Staff are considering excavation options to better connect the creek to its historic floodplain.
2. Oregon Field Guide. Park district staff appeared in an Oregon Public Broadcasting television segment about the benefits and challenges of managing urban beavers.
3. Newt Day. Staff set up a variety of interesting and informative activities and displays about the science and nature of fall natural happenings. Due to intense rain, only about 220 people attended. This was about half the usual turn out.

4. Pollinator Project Update. The bond-funded pollinator project in the Rock Creek Greenway, east of Bethany Lake, recently received additional plantings and was seeded with native wildflowers. Staff are hopeful that we'll have a beautiful bloom in the spring.

Planning, Design & Development

Steve Gulgren, Superintendent of Design & Development

Jeannine Rustad, Superintendent of Planning

1. Design & Development staff continue to work with Polygon Northwest Company for the completion of nearly seven acres of new parks and trails within Polygon's Bethany Creek Falls development in North Bethany. Per a system development charge agreement implemented in August 2013 between THPRD and Polygon, the park and trail amenities will include hard surface trails, a wood boardwalk, plaza areas, a picnic shelter, play areas, sport courts, site furnishings, landscape areas and overlooks for nature viewing. The parks within the Bethany Creek Falls development will be THPRD's first parks constructed in the North Bethany area, and the trails will ultimately connect to other future trails in the North Bethany area. Construction of the recreational improvements began in January 2015. To date, Polygon is nearly complete with phase 1 of the recreational improvements, including a neighborhood park, three smaller park nodes, and trail connections. Staff are working with Polygon to accept the improvements and expect to finalize the various property acquisitions in early 2016. Staff are currently completing plan reviews for the phase 2 improvements which should begin in spring of 2016.
2. A neighborhood group appealed the Washington County Board of County Commission's adoption of Ordinance No. 802, which adopted the Bonny Slope West subarea into the Cedar Hills-Cedar Mill Community Plan. Staff will monitor the appeal.
3. Development proposals continue in the new urban areas. West Hills had a pre-application conference on a proposed development in Bonny Slope West for approximately 233 single family homes on approximately 45 acres. West Hills has also filed an application with the City of Beaverton for a 384 lot Planned Unit Development on approximately 109 acres in South Cooper Mountain. The South Cooper Mountain development proposes 272 lots Single-Family Detached dwelling units; 110 Single-Family Attached Dwelling units; one lot for future Multi-Family development of ±340 units; and one lot for future residential development; trails; and a neighborhood park. A hearing on the application is scheduled for January 20, 2016.

Programs & Special Activities

Lisa Novak, Superintendent of Programs & Special Activities

1. A public meeting was held on November 16 at the Stuhr Center for the ADA Access Audit of facilities and property and the accompanying Transition Plan. Fourteen people were in attendance at the meeting. A slideshow and request for public comments on the ADA audit project are on the THPRD web site.
2. Volunteer Services & Special Events staff are busy processing applications and conducting background checks for volunteer basketball coaches. Staff has begun planning for the 2016 special event season.
3. December is a month filled with special events at the Stuhr Center. Deck the Halls brings Highland Park Middle School students to the Stuhr Center to decorate our holiday trees. The annual Holiday Concert will be held December 7 (1:30-3 pm) and features music and refreshments. Elsie Stuhr Day & Holiday Celebration will be held on December 18 (10 am-noon) and honors Elsie Stuhr, THPRD founder and lifelong physical fitness advocate.

Recreation

Eric Owens, Superintendent of Recreation

1. The first Cedar Hills Recreation Center 5K Family Fun Run and One Mile Walk had more than 250 participants. Family-friendly activities took place in the gymnasium and Beaverton Police officers were there with a motorcycle for kids to check out while parents took pictures. The bounce house, food and music added to the fun.
2. Conestoga Recreation & Aquatic Center held their first Veterans Day pancake breakfast with over 30 in attendance. The facility also offered drop-in programs and activities with 267 participants, which is a 42% increase over last year. In 2014, there were 174 participants. Programs were offered free-of-charge to veterans and their families with 46 participating.
3. Garden Home Recreation Center youth sports program revenue and attendance has increased compared to 2014. Youth sports programs have 160 registered participants this fall compared to 102 in fall of 2014, an increase of 56%.

Security Operations

Mike Janin, Superintendent of Security Operations

1. In late November, 21 unclaimed bicycles recovered by Park Patrol in THPRD parks were delivered to the Washington County Bicycle Co-op. The bicycles are to be reconditioned and donated to children within the county. Bicycles that are left in THPRD parks are typically stored in a safe place and logged. In addition, serial numbers are checked with the Beaverton Police in an attempt to locate the owners. If, after a period of several months, the bikes are still unclaimed, Park Patrol donates them to the co-op. This marks the second year in a row THPRD has done this during the holiday season.

Sports

Scott Brucker, Superintendent of Sports

1. Programming
 - Middle School and 5th grade basketball teams were assigned practices beginning the week of November 30 and the pre-season jamborees are December 5 (5th grade) and December 12 (6th-8th grade). Games begin Saturday, January 9.
 - Adult Basketball teams began play November 17. There are 29 teams this year, up four teams from 2014.
 - The Bubble Soccer Tournament registration will close on December 3. This event is part of the teen and adventure recreation programming initiative.
 - The 2015 Special Olympics Volleyball Tournament and the Oregon Youth Soccer Association/Timbers Presidents and Founders Cup were held on the HMT Complex the weekend of November 21-22.
 - Summer 2015 tennis class participation had an 11% increase over summer 2014. The tennis instructional staff continues to work on changing the teaching philosophy from skills-based to game-based instruction.

Business Services

*Heidi Starks, Deputy Chief Administrative Officer
Nancy Hartman Noye, Human Resources Manager
Mark Hokkanen, Risk & Contract Manager
Seth Reeser, Operations Analysis Manager
Phil Young, Information Services Manager*

1. THPRD hosted Live Resume on November 4 at the Tualatin Hills Nature Center. Live Resume is produced by the employment arm of Incight and helps recruit and prepare individuals with

disabilities for re-entry to the employment market. Eighteen job candidates presented to 20 employers, including four THPRD hiring representatives. Staff plan to continue attending future Live Resume events and likely will host again next year. Staff identified two viable candidates for current available part-time positions.

2. Risk Management has completed its review and update of THPRD's insurance schedule for the upcoming 2016 renewal period with the help of our agent of record, Brown & Brown Northwest. In addition to receiving 10% in Best Practices discounts on our general liability, auto liability and property premiums, THPRD has qualified to receive longevity credit due to the district's outstanding five-year loss ratio. SDIS also guaranteed a maximum annual rate increase cap of 5% through the end of renewal period 2017. THPRD received \$26,739 in longevity credits during the 2015 renewal period.

December

Sun

Mon

Tue

Wed

Thu

Fri

Sat

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2

3

4

5

Dive-in Movie @
Aloha Swim Center
(featuring Big Hero 6)

Holiday Bazaar @
Garden Home Rec
Center

6

Women-only Swim
@ Sunset Swim
Center

7

Board Meeting 7pm
@ Dryland/HMT

Holiday Concert @
Stuhr Center

8

9

10

11

Kid's Nature Night
Out @ Tualatin Hills
Nature Center

12

13

14

15

16

17

18

Winter Wonderland
Holiday Festival @
Conestoga Rec &
Aquatic Center

Elsie Stuhr Day @
Stuhr Center

19

Women-only Swim
@ Aloha Swim
Center

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HOLIDAY

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31

End of The Year
Formal Dance @
Stuhr Center

Swim in the New
Year @ Beaverton
Swim Center

2015

January

Sun

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Sat

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**Board Meeting 7pm
@ Dryland/HMT**

13

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**Advisory Committee
Kick-off Meeting
6pm @ Fanno Creek
Service Center**

20

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**Teen Swim & Dive-in
Movie @ Tualatin
Hills Aquatic Center**

31

2016

February

<i>Sun</i>	<i>Mon</i>	<i>Tue</i>	<i>Wed</i>	<i>Thu</i>	<i>Fri</i>	<i>Sat</i>
	1 Board Meeting 7pm @ Dryland/HMT	2	3	4	5	6
7	8	9	10	11	12	13
14	15 HOLIDAY	16	17	18	19	20
21	22 Budget Committee Meeting 7pm @ Dryland/HMT	23	24	25	26	27
28	29					

2016

Tualatin Hills Park and Recreation District
Monthly Capital Project Report
Estimated Cost vs. Budget
Through 10/31/2015

Description	Project Budget				Project Expenditures		Estimated Total Costs				Est. Cost (Over) Under Budget		
	Prior Year Budget Amount	Budget Carryover to Current Year	New Funds Budgeted in Current Year	Cumulative Project Budget	Current Year Budget Amount	Expended Prior Years	Expended Year-to-Date	Estimated Cost to Complete	Basis of Estimate	Project Cumulative	Current Year	Project Cumulative	Current Year
	(1)	(2)	(3)	(1+3)	(2+3)	(4)	(5)	(6)		(4+5+6)	(5+6)		
GENERAL FUND													
CAPITAL OUTLAY DIVISION													
<u>CARRY FORWARD PROJECTS</u>													
JQAY House Renovation	100,000	1,800	-	100,000	1,800	87,371	-	1,800	Budget	89,171	1,800	10,829	-
Challenge Grant Competitive Fund	50,000	50,000	-	50,000	50,000	-	1,177	48,823	Budget	50,000	50,000	-	-
Signage Master Plan	25,000	25,000	-	25,000	25,000	-	10,400	18,614	Award	29,014	29,014	(4,014)	(4,014)
Aquatic Center Dive Tower Louvers	9,500	9,500	-	9,500	9,500	-	-	9,500	Budget	9,500	9,500	-	-
Jenkins Lead Abatement (Main House)	9,000	9,000	9,000	18,000	18,000	-	-	18,000	Budget	18,000	18,000	-	-
HMT Tennis Center Roof	868,000	868,000	320,000	1,188,000	1,188,000	10,888	1,097,593	61,082	Award	1,169,563	1,158,675	18,437	29,325
Conestoga Middle School Synthetic Turf Field	650,000	650,000	-	650,000	650,000	-	-	650,000	Budget	650,000	650,000	-	-
Hydro-jetter & Camera	11,340	11,340	6,292	17,632	17,632	-	-	17,632	Budget	17,632	17,632	-	-
McMillan Park Playground	87,468	87,468	88,500	175,968	175,968	83,969	7,148	34,851	Budget	125,968	41,999	50,000	133,969
McMillan Park ADA curb, ramp and picnic table	20,300	20,300	-	20,300	20,300	2,436	-	17,864	Budget	20,300	17,864	-	2,436
Commonwealth Lake Ped Path Relocation	78,968	78,968	60,000	138,968	138,968	78,968	38,719	30,886	Award	148,573	69,605	(9,605)	69,363
Pedestrian Path Construction (6 sites)	172,707	172,707	100,879	273,586	273,586	-	58,751	214,835	Budget	273,586	273,586	-	-
Rock Creek Greenway Sidewalk and Ramp Replacement	9,500	9,500	-	9,500	9,500	-	-	9,500	Budget	9,500	9,500	-	-
Greenway Park Bridge Replacement	40,000	40,000	145,000	185,000	185,000	43,319	51,590	65,224	Award	160,133	116,814	24,867	68,186
Aq Ctr Roof, tank, deck, gutter, tile and equipment	1,442,774	1,432,488	397,306	1,840,080	1,829,794	79,359	-	1,829,794	Budget	1,909,153	1,829,794	(69,073)	-
TOTAL CARRYOVER PROJECTS	3,574,557	3,466,071	1,126,977	4,701,534	4,593,048	386,310	1,265,378	3,028,405		4,680,093	4,293,783	21,441	299,265
<u>ATHLETIC FACILITY REPLACEMENT</u>													
Synthetic Turf Field - Sunset High School			200,000	200,000	200,000	-	-	200,000	Award	200,000	200,000	-	-
Tennis Court Resurfacing (2)			60,000	60,000	60,000	-	47,499	2,500	Award	49,999	49,999	10,001	10,001
Tennis Court Resurfacing - HMT Tennis Center			44,000	44,000	44,000	-	-	44,000	Budget	44,000	44,000	-	-
Skate Ramp Rebuild - HMT Skate Park			30,800	30,800	30,800	-	-	30,800	Budget	30,800	30,800	-	-
TOTAL ATHLETIC FACILITY REPLACEMENT			334,800	334,800	334,800	-	47,499	277,300		324,799	324,799	10,001	10,001
<u>ATHLETIC FACILITY IMPROVEMENT</u>													
Push-button activated lights - PCC tennis courts			3,300	3,300	3,300	-	-	3,300	Budget	3,300	3,300	-	-
TOTAL ATHLETIC FACILITY IMPROVEMENT			3,300	3,300	3,300	-	-	3,300	Budget	3,300	3,300	-	-
<u>PARK AND TRAIL REPLACEMENTS</u>													
Trash Cans in Parks			5,000	5,000	5,000	-	-	5,000	Budget	5,000	5,000	-	-
Dog Bag Dispensers			10,000	10,000	10,000	-	9,800	-	Complete	9,800	9,800	200	200
Bridge/Boardwalk Repairs (4)			15,500	15,500	15,500	-	2,412	13,088	Budget	15,500	15,500	-	-
Concrete Curbing (1 site)			4,500	4,500	4,500	-	4,500	-	Complete	4,500	4,500	-	-
Sidewalk Repair & Replacement (3 sites)			39,070	39,070	39,070	-	29,792	9,278	Budget	39,070	39,070	-	-
Irrigation & Drainage System Repairs			10,000	10,000	10,000	-	1,546	8,454	Budget	10,000	10,000	-	-
Parking Lots (2 sites)			236,480	236,480	236,480	-	30,193	206,287	Budget	236,480	236,480	-	-
Pedestrian Pathways (3 sites)			59,710	59,710	59,710	-	28,500	31,210	Budget	59,710	59,710	-	-
Play Equipment (2 sites)			17,500	17,500	17,500	-	3,744	13,756	Budget	17,500	17,500	-	-
Tables & Benches			4,800	4,800	4,800	-	3,393	1,407	Budget	4,800	4,800	-	-
Fencing & Lumber - HSC Community Garden			16,500	16,500	16,500	-	179	16,321	Budget	16,500	16,500	-	-
TOTAL PARK AND TRAIL REPLACEMENTS			419,060	419,060	419,060	-	114,059	304,801		418,860	418,860	200	200
<u>PARK AND TRAIL IMPROVEMENTS</u>													
Memorial Benches			8,000	8,000	8,000	-	634	7,366	Budget	8,000	8,000	-	-
ODOT Grant-Westside Trail#18 easement			80,000	80,000	80,000	-	15,762	64,238	Budget	80,000	80,000	-	-
Solar Powered Trash Compactors			13,600	13,600	13,600	-	13,563	-	Complete	13,563	13,563	37	37
McMillan Park Playground Grant			25,000	25,000	25,000	-	-	50,000	Award	50,000	50,000	(25,000)	(25,000)
LWCF grant match - undesignated project			100,000	100,000	100,000	-	-	100,000	Budget	100,000	100,000	-	-
LWCF small grant match - undesignated project			75,000	75,000	75,000	-	-	75,000	Budget	75,000	75,000	-	-
RTP grant match - undesignated project			100,000	100,000	100,000	-	-	100,000	Budget	100,000	100,000	-	-
TOTAL PARK AND TRAIL IMPROVEMENTS			401,600	401,600	401,600	-	29,959	396,604		426,563	426,563	(24,963)	(24,963)

Tualatin Hills Park and Recreation District
Monthly Capital Project Report
Estimated Cost vs. Budget
Through 10/31/2015

Description	Project Budget				Project Expenditures		Estimated Total Costs				Est. Cost (Over) Under Budget		
	Prior Year Budget Amount	Budget Carryover to Current Year	New Funds Budgeted in Current Year	Cumulative Project Budget	Current Year Budget Amount	Expended Prior Years	Expended Year-to-Date	Estimated Cost to Complete	Basis of Estimate	Project Cumulative	Current Year	Project Cumulative	Current Year
	(1)	(2)	(3)	(1+3)	(2+3)	(4)	(5)	(6)		(4+5+6)	(5+6)		
CHALLENGE GRANTS													
Program Facility Challenge Grants			97,500	97,500	97,500	-	9,847	87,653	Budget	97,500	97,500	-	-
TOTAL CHALLENGE GRANTS			97,500	97,500	97,500	-	9,847	87,653		97,500	97,500	-	-
BUILDING REPLACEMENTS													
Harman Swim Center - resurfacing			345,500	345,500	345,500	-	-	345,500	Budget	345,500	345,500	-	-
Cardio weight room equipment			40,000	40,000	40,000	-	-	38,097	Award	38,097	38,097	1,903	1,903
Roof and gutter repair (4)			25,028	25,028	25,028	-	410	24,618	Budget	25,028	25,028	-	-
Room dividers - CRA			1,000	1,000	1,000	-	1,007	-	Complete	1,007	1,007	(7)	(7)
Furniture - HMT Admin			14,600	14,600	14,600	-	953	13,647	Budget	14,600	14,600	-	-
Tables - CHRC			5,500	5,500	5,500	-	3,455	-	Complete	3,455	3,455	2,045	2,045
Exterior light fixtures - GHRC			1,000	1,000	1,000	-	998	-	Complete	998	998	2	2
Electrical panel - placement assessment			15,000	15,000	15,000	-	-	15,000	Budget	15,000	15,000	-	-
Outdoor courts relamping - HMT Tennis Center			1,600	1,600	1,600	-	1,798	-	Complete	1,798	1,798	(198)	(198)
Tile & wood floor - GHRC			2,500	2,500	2,500	-	-	2,500	Budget	2,500	2,500	-	-
Roof vent covers - Aquatic Center			2,500	2,500	2,500	-	-	2,500	Budget	2,500	2,500	-	-
Furnace - Jenkins Estate			4,400	4,400	4,400	-	-	3,050	Award	3,050	3,050	1,350	1,350
HVAC Controls - SSC			1,200	1,200	1,200	-	1,180	-	Complete	1,180	1,180	20	20
Restroom fixtures (2 sites)			3,000	3,000	3,000	-	1,916	1,084	Budget	3,000	3,000	-	-
Auto-flush toilet valves - HSC			1,000	1,000	1,000	-	1,167	-	Complete	1,167	1,167	(167)	(167)
Main drain and backwash flanges - BSC			4,200	4,200	4,200	-	-	4,200	Budget	4,200	4,200	-	-
Water heater - Stuhr Center			2,500	2,500	2,500	-	3,307	-	Complete	3,307	3,307	(807)	(807)
Pit ladder (2 sites)			2,000	2,000	2,000	-	481	1,519	Budget	2,000	2,000	-	-
Skim gutter grates - CRA			1,000	1,000	1,000	-	514	486	Budget	1,000	1,000	-	-
Valve & vacuum - Somerset West			2,350	2,350	2,350	-	579	1,771	Budget	2,350	2,350	-	-
Surge protection for multiple pumps - CRA			15,000	15,000	15,000	-	-	15,000	Budget	15,000	15,000	-	-
Hot water pumps - CRA			4,000	4,000	4,000	-	-	4,000	Budget	4,000	4,000	-	-
Backwash valve - Aquatic Center			5,000	5,000	5,000	-	-	5,000	Budget	5,000	5,000	-	-
Circulation pump & motor - RSC			2,800	2,800	2,800	-	-	2,800	Budget	2,800	2,800	-	-
Fire Suppression (Phase 1) - Jenkins			8,663	8,663	8,663	-	-	8,663	Budget	8,663	8,663	-	-
Windows (2 sites)			2,000	2,000	2,000	-	1,896	104	Budget	2,000	2,000	-	-
Doors (7 sites)			8,000	8,000	8,000	-	6,318	1,682	Budget	8,000	8,000	-	-
Gym mats - CRA			2,800	2,800	2,800	-	-	2,800	Budget	2,800	2,800	-	-
Ergonomic equipment fixtures			6,000	6,000	6,000	-	2,325	3,675	Budget	6,000	6,000	-	-
Portable stage			11,206	11,206	11,206	-	11,206	-	Complete	11,206	11,206	-	-
Equipment for Special Events support			16,196	16,196	16,196	-	-	16,196	Budget	16,196	16,196	-	-
HVAC valves - CRA			-	-	-	-	948	1,000	Award	1,948	1,948	(1,948)	(1,948)
TOTAL BUILDING REPLACEMENTS			557,543	557,543	557,543	-	40,458	514,892		555,350	555,350	2,193	2,193
BUILDING IMPROVEMENTS													
Aqua Climb			5,000	5,000	5,000	-	1,000	4,000	Budget	5,000	5,000	-	-
LED Lighting - Nature Center			3,300	3,300	3,300	-	-	3,300	Budget	3,300	3,300	-	-
Carpet - GHRC			2,500	2,500	2,500	-	960	-	Complete	960	960	1,540	1,540
Shaved Ice Machine - CHRC			2,400	2,400	2,400	-	1,977	-	Complete	1,977	1,977	423	423
TOTAL BUILDING IMPROVEMENTS			13,200	13,200	13,200	-	3,937	7,300		11,237	11,237	1,963	1,963
ADA PROJECTS													
Aquatic Lifts (2 sites)			21,000	21,000	21,000	-	-	21,000	Budget	21,000	21,000	-	-
Front desk redesign - HSC			3,500	3,500	3,500	-	-	3,500	Budget	3,500	3,500	-	-
TOTAL ADA PROJECTS			24,500	24,500	24,500	-	-	24,500		24,500	24,500	-	-
TOTAL CAPITAL OUTLAY DIVISION	3,574,557	3,466,071	2,978,480	6,553,037	6,444,551	386,310	1,511,137	4,644,755		6,542,202	6,155,892	10,835	288,659

Tualatin Hills Park and Recreation District
Monthly Capital Project Report
Estimated Cost vs. Budget
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Description	Project Budget				Project Expenditures		Estimated Total Costs				Est. Cost (Over) Under Budget		
	Prior Year Budget Amount	Budget Carryover to Current Year	New Funds Budgeted in Current Year	Cumulative Project Budget	Current Year Budget Amount	Expended Prior Years	Expended Year-to-Date	Estimated Cost to Complete	Basis of Estimate	Project Cumulative	Current Year	Project Cumulative	Current Year
	(1)	(2)	(3)	(1+3)	(2+3)	(4)	(5)	(6)		(4+5+6)	(5+6)		
INFORMATION SERVICES DEPARTMENT													
<u>INFORMATION TECHNOLOGY REPLACEMENTS</u>													
Workstations/Notebooks			8,500	8,500	8,500	-	1,339	7,161	Budget	8,500	8,500	-	-
Server Replacements			37,000	37,000	37,000	-	-	37,000	Budget	37,000	37,000	-	-
LAN/WAN Replacement			5,000	5,000	5,000	-	-	5,000	Budget	5,000	5,000	-	-
Printers/Network Printers			5,000	5,000	5,000	-	1,560	3,440	Budget	5,000	5,000	-	-
TOTAL INFORMATION TECHNOLOGY REPLACEMENTS			55,500	55,500	55,500	-	2,899	52,601		55,500	55,500	-	-
<u>INFORMATION TECHNOLOGY IMPROVEMENTS</u>													
PCI Credit Card Reader			10,000	10,000	10,000	-	-	10,000	Budget	10,000	10,000	-	-
Adobe Licenses			4,500	4,500	4,500	-	-	4,500	Budget	4,500	4,500	-	-
Application Software			20,000	20,000	20,000	-	-	20,000	Budget	20,000	20,000	-	-
IS Disaster Recovery Backup			48,000	48,000	48,000	-	4,610	43,390	Budget	48,000	48,000	-	-
Computer workstations and monitors			2,400	2,400	2,400	-	-	2,400	Budget	2,400	2,400	-	-
TOTAL INFORMATION TECHNOLOGY IMPROVEMENTS			84,900	84,900	84,900	-	4,610	80,290		84,900	84,900	-	-
TOTAL INFORMATION SYSTEMS DEPARTMENT	-	-	140,400	140,400	140,400	-	7,509	132,891		140,400	140,400	-	-
MAINTENANCE DEPARTMENT													
<u>FLEET REPLACEMENTS</u>													
Full size 4x4 pickup and accessories			38,000	38,000	38,000	-	-	38,000	Budget	38,000	38,000	-	-
Cargo van			25,000	25,000	25,000	-	-	25,000	Budget	25,000	25,000	-	-
PTO Implement - mower			8,000	8,000	8,000	-	-	4,843	Award	4,843	4,843	3,157	3,157
Infield rakes (2)			29,000	29,000	29,000	-	28,862	-	Complete	28,862	28,862	138	138
72" mowers (2)			29,000	29,000	29,000	-	26,303	-	Complete	26,303	26,303	2,697	2,697
52" mowers (2)			16,000	16,000	16,000	-	14,334	-	Complete	14,334	14,334	1,666	1,666
Field tractor			55,000	55,000	55,000	-	49,280	-	Complete	49,280	49,280	5,720	5,720
HD utility vehicle			23,500	23,500	23,500	-	-	23,441	Award	23,441	23,441	59	59
Full size pickup and accessories			32,000	32,000	32,000	-	-	32,000	Budget	32,000	32,000	-	-
Utility vehicles (2)			29,500	29,500	29,500	-	-	26,909	Award	26,909	26,909	2,591	2,591
TOTAL FLEET REPLACEMENTS			285,000	285,000	285,000	-	118,779	150,193		268,972	268,972	16,028	16,028
<u>BUILDING MAINTENANCE EQUIPMENT REPLACEMENTS</u>													
Carpet shampooer (BSC)			1,000	1,000	1,000	-	1,004	-	Complete	1,004	1,004	(4)	(4)
Hi-speed burnisher (CRA)			1,000	1,000	1,000	-	677	-	Complete	677	677	323	323
Court sweeper brush (HMT TC)			1,200	1,200	1,200	-	971	-	Complete	971	971	229	229
TOTAL BLDG MAINT EQUIPMENT REPLACEMENTS			3,200	3,200	3,200	-	2,652	-		2,652	2,652	548	548
TOTAL MAINTENANCE DEPARTMENT	-	-	288,200	288,200	288,200	-	121,431	150,193		271,624	271,624	16,576	16,576
GRAND TOTAL GENERAL FUND	3,574,557	3,466,071	3,407,080	6,981,637	6,873,151	386,310	1,640,077	4,927,839		6,954,226	6,567,916	27,411	305,235

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Estimated Cost vs. Budget
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Description	Project Budget					Project Expenditures		Estimated Total Costs			Est. Cost (Over) Under Budget		
	Prior Year Budget Amount	Budget Carryover to Current Year	New Funds Budgeted in Current Year	Cumulative Project Budget	Current Year Budget Amount	Expended Prior Years	Expended Year-to-Date	Estimated Cost to Complete	Basis of Estimate	Project Cumulative	Current Year	Project Cumulative	Current Year
	(1)	(2)	(3)	(1+3)	(2+3)	(4)	(5)	(6)		(4+5+6)	(5+6)		
SDC FUND													
<u>LAND ACQUISITION</u>													
Land Acquisition - North Bethany	1,670,131	1,621,863	-	1,670,131	1,621,863	48,268	7,776	1,614,087	Budget	1,670,131	1,621,863	-	-
Land Acquisition (FY 15)	1,119,869	838,137	-	1,119,869	838,137	-	(21,553)	859,690	Budget	838,137	838,137	281,732	-
Land Acquisition - new urban areas	-	-	1,265,917	1,265,917	1,265,917	-	25,092	1,240,825	Budget	1,265,917	1,265,917	-	-
Other Land Acquisition (FY16)	-	-	500,000	500,000	500,000	-	3,100	496,900	Budget	500,000	500,000	-	-
Land Acquisition - South Cooper Mountain	-	-	2,733,069	2,733,069	2,733,069	-	2,733,069	-	Budget	2,733,069	2,733,069	-	-
Land Acquisition - Bonny Slope West	-	-	1,014	1,014	1,014	-	1,014	-	Budget	1,014	1,014	-	-
TOTAL LAND ACQUISITION	2,790,000	2,460,000	4,500,000	7,290,000	6,960,000	48,268	2,748,498	4,211,502		7,008,268	6,960,000	281,732	-
<u>DEVELOPMENT/IMPROVEMENT PROJECTS</u>													
Bonny Slope / BSD Trail Development	500,000	500,000	-	500,000	500,000	-	-	500,000	Budget	500,000	500,000	-	-
MTIP Grant Match - Westside Trail #18	283,330	200,000	415,000	698,330	615,000	98,218	339,744	275,256	Budget	713,218	615,000	(14,888)	-
Ben Graf Greenway - Trail Connection	600,000	41,000	-	600,000	41,000	481,201	-	-	Complete	481,201	-	118,799	41,000
Fanno Creek Trail - Hall Blvd Crossing	434,250	40,000	-	434,250	40,000	176,775	-	40,000	Budget	216,775	40,000	217,475	-
Timberland Park - Project Management	34,000	-	10,000	44,000	10,000	45,090	20,961	-	Complete	66,051	20,961	(22,051)	(10,961)
Bethany Creek Falls Phases 1, 2 & 3 - Proj Management	120,500	105,500	24,500	145,000	130,000	27,535	18,658	111,342	Budget	157,535	130,000	-	(12,535)
New Neighborhood Park Master Plans (2 sites)	150,000	150,000	-	150,000	150,000	-	-	150,000	Budget	150,000	150,000	-	-
New Neighborhood Park Development	1,500,000	1,500,000	-	1,500,000	1,500,000	-	-	1,500,000	Budget	1,500,000	1,500,000	-	-
SW Quad Community Center - Site Feasibility Analysis	60,000	60,000	20,000	80,000	80,000	-	-	80,000	Budget	80,000	80,000	-	-
Natural Area Master Plan	100,000	100,000	-	100,000	100,000	-	-	100,000	Budget	100,000	100,000	-	-
Building Expansion (TBD)	-	-	1,000,000	1,000,000	1,000,000	-	-	1,000,000	Budget	1,000,000	1,000,000	-	-
Deck Expansion (Aquatic Center)	-	-	130,000	130,000	130,000	-	-	130,000	Budget	130,000	130,000	-	-
New Synthetic turf field- Conestoga Middle School	-	-	850,000	850,000	850,000	-	-	850,000	Budget	850,000	850,000	-	-
LWCF grant match - project to be determined	-	-	100,000	100,000	100,000	-	-	100,000	Budget	100,000	100,000	-	-
LWCF small grant match - project to be determined	-	-	75,000	75,000	75,000	-	-	75,000	Budget	75,000	75,000	-	-
RTP grant match - project to be determined	-	-	100,000	100,000	100,000	-	-	100,000	Budget	100,000	100,000	-	-
MTIP Beaverton Creek Trail Master Plan Phase	-	-	135,000	135,000	135,000	-	463	134,537	Budget	135,000	135,000	-	-
MTIB Beaverton Creek Trail Land Acquisition ROW phase	-	-	250,000	250,000	250,000	-	-	250,000	Budget	250,000	250,000	-	-
WaCo match funds - Augusta Lane Pedestrian Trail Bridge	-	-	50,000	50,000	50,000	-	-	50,000	Budget	50,000	50,000	-	-
N Bethany Park & Trail - project management	-	-	65,000	65,000	65,000	-	929	64,071	Budget	65,000	65,000	-	-
SDC Methodology & Administrative Procedures update	-	-	30,000	30,000	30,000	-	-	30,000	Budget	30,000	30,000	-	-
Undesignated projects	-	-	3,310,498	3,310,498	3,310,498	-	-	3,310,498	Budget	3,310,498	3,310,498	-	-
TOTAL DEVELOPMENT/IMPROVEMENT PROJECTS	3,782,080	2,696,500	6,564,998	10,347,078	9,261,498	828,819	380,755	8,850,704		10,060,278	9,231,459	299,335	17,504
GRAND TOTAL SDC FUND	6,572,080	5,156,500	11,064,998	17,637,078	16,221,498	877,087	3,129,253	13,062,206		17,068,546	16,191,459	581,067	17,504

KEY
Budget Estimate based on original budget - not started and/or no basis for change
Deferred Some or all of Project has been eliminated to reduce overall capital costs for year.
Award Estimate based on Contract Award amount or quote price estimates
Complete Project completed - no additional estimated costs to complete.

Tualatin Hills Park and Recreation District
Monthly Bond Capital Projects Report
Estimated Cost vs. Budget
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Completed FY 12
 Completed FY 11
 Completed FY 10
 Completed FY 09

Quad-rant	Project Code	Description	Asset ID#	Project Budget			Project Expenditures			Estimated Cost to Complete	Basis of Estimate (Completed Phase)	Project Cumulative Cost	Variance		
				Initial Project Budget	Adjustments	Current Total Project Budget FY 15/16	Expended Prior Years	Expended Year-to-Date	Total Expended to Date				Est. Cost (Over) Under Budget	Cost Expended to Budget	Cost Expended to Total Cost
				(1)	(2)	(1+2)=(3)	(4)	(5)	(4+5)=(6)				(3-9) = (10)	(6) / (3)	(6)/(9)
BOND CAPITAL PROJECTS FUND															
<u>New Neighborhood Parks Development</u>															
SE	91-901	AM Kennedy Park & Athletic Field	P0574	1,285,250	50,470	1,335,720	1,686,530	-	1,686,530	-	Complete	1,686,530	(350,810)	126.3%	100.0%
SW	91-902	Barsotti Park & Athletic Field	P0638	1,285,250	27,134	1,312,384	1,258,105	-	1,258,105	-	Complete	1,258,105	54,279	95.9%	100.0%
NW	91-903	Hansen Ridge Park (formerly Kaiser Ridge)	P0639	771,150	16,035	787,185	753,743	-	753,743	-	Complete	753,743	33,442	95.8%	100.0%
SW	91-904	Roy Dancer Park	P0640	771,150	16,308	787,458	651,272	-	651,272	-	Complete	651,272	136,186	82.7%	100.0%
NE	91-905	Roger Tilbury Park	P0700	771,150	19,335	790,485	888,218	-	888,218	-	Complete	888,218	(97,733)	112.4%	100.0%
Total New Neighborhood Parks Development				4,883,950	129,282	5,013,232	5,237,868	-	5,237,868	-		5,237,868	(224,636)	104.5%	100.0%
UND	Authorized Use of Savings from Bond Issuance Administration Category			-	224,636	224,636	-	-	-	-	N/A	-	224,636	n/a	n/a
Total New Neighborhood Parks Development				4,883,950	353,918	5,237,868	5,237,868	-	5,237,868	-		5,237,868	-	100.0%	100.0%
<u>Renovate & Redevelop Neighborhood Parks</u>															
NE	91-906	Cedar Mill Park, Trail & Athletic Fields	P0641	1,125,879	29,166	1,155,045	993,843	-	993,843	-	Complete	993,843	161,202	86.0%	100.0%
SE	91-907	Camille Park	P0642	514,100	28,634	542,734	585,471	-	585,471	-	Complete	585,471	(42,737)	107.9%	100.0%
NW	91-908	Somerset West Park	P0643	1,028,200	37,247	1,065,447	188,253	6,056	194,309	2,322,300	A&E	2,516,609	(1,451,162)	18.2%	7.7%
NW	91-909	Pioneer Park and Bridge Replacement	P0644	544,934	21,059	565,993	533,358	-	533,358	-	Complete	533,358	32,635	94.2%	100.0%
SE	91-910	Vista Brook Park	P0645	514,100	20,452	534,552	733,500	-	733,500	-	Complete	733,500	(198,948)	137.2%	100.0%
Total Renovate & Redevelop Neighborhood Parks				3,727,213	136,558	3,863,771	3,034,425	6,056	3,040,481	2,322,300		5,362,781	(1,499,010)	78.7%	56.7%
<u>New Neighborhood Parks Land Acquisition</u>															
NW	98-880-a	New Neighborhood Park - NW Quadrant (Biles)	L0298	1,500,000	28,467	1,528,467	1,041,404	-	1,041,404	-	Complete	1,041,404	487,063	68.1%	100.0%
NW	98-880-b	New Neighborhood Park - NW Quadrant (Living Hope)		-	-	-	1,067,724	-	1,067,724	-	Complete	1,067,724	(1,067,724)	n/a	100.0%
NW	98-880-c	New Neighborhood Park - NW Quadrant (Mitchell)		-	-	-	729,751	434	730,185	83,827	Complete	814,012	(814,012)	n/a	89.7%
NW	98-880-d	New Neighborhood Park - NW Quadrant (PGE)		-	-	-	62,712	-	62,712	-	Complete	62,712	(62,712)	n/a	100.0%
NE	98-745-a	New Neighborhood Park - NE Quadrant (Wilson)	L0288	1,500,000	27,735	1,527,735	529,294	-	529,294	-	Complete	529,294	998,441	34.6%	100.0%
NE	98-745-b	New Neighborhood Park - NE Quadrant (Lehman - formerly undesignated)		1,500,000	31,870	1,531,870	2,095,153	24,787	2,119,940	-	Complete	2,119,940	(588,070)	138.4%	100.0%
SW	98-746-a	New Neighborhood Park - SW Quadrant (Sterling Savings)	L0289	1,500,000	24,453	1,524,453	1,058,925	-	1,058,925	-	Complete	1,058,925	465,528	69.5%	100.0%
SW	98-746-b	New Neighborhood Park - SW Quadrant (New Neighborhood Park - SW Quadrant (Altishin))		-	-	-	547,794	3,902	551,696	-	Complete	551,696	(551,696)	n/a	100.0%
SW	98-746-c	New Neighborhood Park - SW Quadrant (Hung easement for Roy Dancer Park)		-	-	-	60,006	-	60,006	-	Complete	60,006	(60,006)	n/a	100.0%
SE	98-747	New Neighborhood Park - SE Quadrant (Cobb)	L0290	1,500,000	15,547	1,515,547	2,562,025	47,855	2,609,880	145	Complete	2,610,025	(1,094,478)	172.2%	100.0%
NW	98-748	New Neighborhood Park (North Bethany) (McGettigan)	L0291	1,500,000	23,667	1,523,667	1,629,690	73	1,629,763	-	Complete	1,629,763	(106,096)	107.0%	100.0%
UND	98-749	New Neighborhood Park - Undesignated	L0292	-	-	-	-	-	-	-	Reallocated	-	-	n/a	0.0%
Sub-total New Neighborhood Parks				9,000,000	151,739	9,151,739	11,384,478	77,051	11,461,529	83,972		11,545,501	(2,393,762)	125.2%	99.3%
UND	Authorized Use of Savings from New Community Park Land Acquisition Category			-	1,655,521	1,655,521	-	-	-	-	N/A	-	1,655,521	n/a	n/a
UND	Authorized Use of Savings from Community Center / Community Park Land Acquisition Category			-	738,241	738,241	-	-	-	-	N/A	-	738,241	n/a	n/a
Total New Neighborhood Parks				9,000,000	2,545,501	11,545,501	11,384,478	77,051	11,461,529	83,972		11,545,501	-	99.3%	99.3%
<u>New Community Park Development</u>															
SW	92-915	SW Quad Community Park & Athletic Field	P0648	7,711,500	258,441	7,969,941	679,486	153,869	833,355	10,972,144	Master Plan	11,805,499	(3,835,558)	10.5%	7.1%
Sub-total New Community Park Development				7,711,500	258,441	7,969,941	679,486	153,869	833,355	10,972,144		11,805,499	(3,835,558)	10.5%	7.1%
UND	Outside Funding from Washington County / Metro Transferred from Community Center Land Acquisition			-	384,251	384,251	-	-	-	-	N/A	-	384,251	n/a	n/a
Total New Community Park Development				7,711,500	642,692	8,354,192	679,486	153,869	833,355	10,972,144		11,805,499	(3,451,307)	10.0%	7.1%

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Quad- rant	Project Code	Description	Asset ID#	Project Budget			Project Expenditures			Estimated Cost to Complete	Basis of Estimate (Completed Phase)	Project Cumulative Cost	Variance			
				Initial Project Budget	Adjustments	Current Total Project Budget FY 15/16	Expended Prior Years	Expended Year-to-Date	Total Expended to Date				Est. Cost (Over) Under Budget	Cost Expended to Budget	Cost Expended to Total Cost	
				(1)	(2)	(1+2)=(3)	(4)	(5)	(4+5)=(6)				(7)	(6+7)=(9)	(3-9) = (10)	(6) / (3)
New Community Park Land Acquisition																
NE	98-881-a	New Community Park - NE Quadrant (Teufel)	L0293	10,000,000	132,657	10,132,657	8,103,899	-	8,103,899	-	Complete	8,103,899	2,028,758	80.0%	100.0%	
NE	98-881-b	Community Park Expansion - NE Quad (BSD/William Walker)		-	-	-	373,237	-	373,237	-	Complete	373,237	(373,237)	n/a	100.0%	
Sub-total New Community Park				10,000,000	132,657	10,132,657	8,477,136	-	8,477,136	-		8,477,136	1,655,521	83.7%	100.0%	
Authorized Use of Savings for New Neighborhood Parks																
UND		Land Acquisition Category		-	(1,655,521)	(1,655,521)	-	-	-	-	N/A	-	(1,655,521)	n/a	n/a	
Total New Community Park				10,000,000	(1,522,864)	8,477,136	8,477,136	-	8,477,136	-		8,477,136	-	100.0%	100.0%	
Renovate and Redevelop Community Parks																
NE	92-916	Cedar Hills Park & Athletic Field	P0649	6,194,905	200,517	6,395,422	223,116	12,659	235,775	7,818,401	A&E	8,054,176	(1,658,754)	3.7%	2.9%	
SE	92-917	Schiffler Park	P0650	3,598,700	72,672	3,671,372	2,633,084	-	2,633,084	-	Complete	2,633,084	1,038,288	71.7%	100.0%	
Total Renovate and Redevelop Community Parks				9,793,605	273,189	10,066,794	2,856,200	12,659	2,868,859	7,818,401		10,687,260	(620,466)	28.5%	26.8%	
Natural Area Preservation - Restoration																
NE	97-963	Roger Tilbury Memorial Park	P0664	30,846	960	31,806	1,357	1,000	2,357	29,317	Planning	31,674	132	7.4%	7.4%	
NE	97-964	Cedar Mill Park	P0665	30,846	966	31,812	201	1,000	1,201	8,799	Planning	10,000	21,812	3.8%	12.0%	
NE	97-965	Jordan/Jackie Husen Park	P0666	308,460	8,411	316,871	29,906	1,625	31,531	25,869	Planting	57,400	259,471	10.0%	54.9%	
NW	97-966	NE/Bethany Meadows Trail Habitat Connection		246,768	7,800	254,568	-	-	-	254,568	On Hold	254,568	-	0.0%	0.0%	
NW	97-967	Hansen Ridge Park (formerly Kaiser Ridge)		10,282	264	10,546	8,186	-	8,186	4,814	Preparation	13,000	(2,454)	77.6%	63.0%	
NW	97-968	Allenbach Acres Park	P0667	41,128	1,256	42,384	5,514	3,905	9,419	32,171	Planning	41,590	794	22.2%	22.6%	
NW	97-969	Crystal Creek Park	P0668	205,640	5,998	211,638	5,401	-	5,401	94,599	Preparation	100,000	111,638	2.6%	5.4%	
NE	97-970	Foothills Park	P0669	61,692	1,143	62,835	46,178	-	46,178	-	Complete	46,178	16,657	73.5%	100.0%	
NE	97-971	Commonwealth Lake Park	P0670	41,128	759	41,887	30,809	-	30,809	-	Complete	30,809	11,078	73.6%	100.0%	
NW	97-972	Tualatin Hills Nature Park	P0671	90,800	2,278	93,078	27,696	-	27,696	-	Complete	27,696	65,382	29.8%	100.0%	
NE	97-973	Pioneer Park	P0672	10,282	245	10,527	7,854	1,211	9,065	1,382	Preparation	10,447	80	86.1%	86.8%	
NW	97-974	Whispering Woods Park	P0673	51,410	897	52,307	48,871	-	48,871	-	Complete	48,871	3,436	93.4%	100.0%	
NW	97-975	Willow Creek Nature Park	P0674	20,564	383	20,947	21,877	-	21,877	-	Complete	21,877	(930)	104.4%	100.0%	
SE	97-976	AM Kennedy Park	P0675	30,846	699	31,545	26,048	138	26,186	6,514	Planting	32,700	(1,155)	83.0%	80.1%	
SE	97-977	Camille Park	P0676	77,115	1,698	78,813	61,199	200	61,399	10,954	Planting	72,353	6,460	77.9%	84.9%	
SE	97-978	Vista Brook Park		20,564	624	21,188	3,044	-	3,044	17,456	Planting	20,500	688	14.4%	14.8%	
SE	97-979	Greenway Park/Koll Center	P0677	61,692	1,695	63,387	38,141	2,327	40,468	22,532	Preparation	63,000	387	63.8%	64.2%	
SE	97-980	Bauman Park	P0678	82,256	1,984	84,240	30,153	-	30,153	-	Complete	30,153	54,087	35.8%	100.0%	
SE	97-981	Fanno Creek Park	P0679	162,456	5,070	167,526	5,147	-	5,147	64,853	Preparation	70,000	97,526	3.1%	7.4%	
SE	97-982	Hideaway Park	P0680	41,128	1,014	42,142	34,270	1,102	35,372	6,585	Planting	41,957	185	83.9%	84.3%	
SW	97-983	Murrayhill Park	P0681	61,692	1,014	62,706	65,712	-	65,712	-	Complete	65,712	(3,006)	104.8%	100.0%	
SE	97-984	Hyland Forest Park	P0682	71,974	1,316	73,290	62,121	-	62,121	-	Complete	62,121	11,169	84.8%	100.0%	
SW	97-985	Cooper Mountain	P0683	205,640	6,499	212,139	14	-	14	212,125	On Hold	212,139	-	0.0%	0.0%	
SW	97-986	Winkelman Park	P0684	10,282	237	10,519	5,894	-	5,894	-	Complete	5,894	4,625	56.0%	100.0%	
SW	97-987	Lowami Hart Woods	P0685	287,896	8,198	296,094	95,906	8,323	104,229	60,771	Preparation	165,000	131,094	35.2%	63.2%	
SW	97-988	Rosa/Hazeldale Parks	P0686	28,790	708	29,498	12,754	-	12,754	-	Complete	12,754	16,744	43.2%	100.0%	
SW	97-989	Mt Williams Park		102,820	3,247	106,067	244	-	244	105,823	Planning	106,067	-	0.2%	0.2%	
SW	97-990	Jenkins Estate	P0687	154,230	3,309	157,539	132,701	3,780	136,481	-	Complete	136,481	21,058	86.6%	100.0%	
SW	97-991	Summercrest Park	P0688	10,282	188	10,470	7,987	-	7,987	-	Complete	7,987	2,483	76.3%	100.0%	
SW	97-992	Morrison Woods	P0689	61,692	1,948	63,640	0	-	0	63,640	On Hold	63,640	-	0.0%	0.0%	
UND	97-993	Interpretive Sign Network	P0690	339,306	8,697	348,003	295,851	9,436	305,287	34,013	Sign Fabrication	339,300	8,703	87.7%	90.0%	
NW	97-994	Beaverton Creek Trail		61,692	1,949	63,641	-	-	-	63,641	On Hold	63,641	-	0.0%	0.0%	
NW	97-995	Bethany Wetlands/Bronson Creek		41,128	1,300	42,428	-	-	-	42,428	On Hold	42,428	-	0.0%	0.0%	
NW	97-996	Bluegrass Downs Park		15,423	487	15,910	-	-	-	15,910	On Hold	15,910	-	0.0%	0.0%	
NW	97-997	Crystal Creek		41,128	1,300	42,428	-	-	-	42,428	On Hold	42,428	-	0.0%	0.0%	
UND	N/A	Reallocation of project savings to new project budgets		-	(865,000)	(865,000)	-	-	-	-	Reallocation	0	(865,000)	0.0%	0.0%	
SE	97-870	Hyland Woods Phase 2		-	75,000	75,000	-	6,359	6,359	68,641	Budget	75,000	-	8.5%	8.5%	
SW	97-871	Jenkins Estate Phase 2		-	125,000	125,000	-	-	-	125,000	Budget	125,000	-	0.0%	0.0%	
NW	97-872	Somerset		-	150,000	150,000	-	-	-	150,000	Budget	150,000	-	0.0%	0.0%	
NW	97-873	Rock Creek Greenway		-	155,000	155,000	-	-	-	155,000	Budget	155,000	-	0.0%	0.0%	
NW	97-874	Whispering Woods Phase 2		-	95,000	95,000	-	-	-	95,000	Budget	95,000	-	0.0%	0.0%	

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SE	97-875	Raleigh Park		-	110,000	110,000	-	-	-	110,000	Budget	110,000	-	0.0%	0.0%
NE	97-876	Bannister Creek Greenway/NE Park		-	75,000	75,000	-	-	-	75,000	Budget	75,000	-	0.0%	0.0%
NW	97-877	Beaverton Creek Greenway Duncan		-	20,000	20,000	-	-	-	20,000	Budget	20,000	-	0.0%	0.0%
SE	97-878	Church of Nazarene		-	30,000	30,000	-	-	-	30,000	Budget	30,000	-	0.0%	0.0%
SW	97-879	Lilly K. Johnson Woods		-	30,000	30,000	-	4,713	4,713	25,287	Budget	30,000	-	15.7%	15.7%
UND	97-914	Restoration of new properties to be acquired		643,023	20,321	663,344	7,172	-	7,172	629,316	On Hold	636,488	26,856	1.1%	1.1%
Total Natural Area Restoration				3,762,901	104,862	3,867,763	1,118,208	45,119	1,163,327	2,704,436		3,867,763	-	30.1%	30.1%
Natural Area Preservation - Land Acquisition															
UND	98-882	Natural Area Acquisitions	L0294	8,400,000	221,042	8,621,042	4,464,767	54,192	4,518,959	4,102,083	Budget	8,621,042	-	52.4%	52.4%
Total Natural Area Preservation - Land Acquisition				8,400,000	221,042	8,621,042	4,464,767	54,192	4,518,959	4,102,083		8,621,042	-	52.4%	52.4%
New Linear Park and Trail Development															
SW	93-918	Westside Trail Segments 1, 4, & 7	P0651	4,267,030	83,702	4,350,732	4,395,221	-	4,395,221	-	Complete	4,395,221	(44,489)	101.0%	100.0%
NE	93-920	Jordan/Husen Park Trail	P0652	1,645,120	45,644	1,690,764	1,227,496	-	1,227,496	-	Complete	1,227,496	463,268	72.6%	100.0%
NW	93-924	Waterhouse Trail Segments 1, 5 & West Spur	P0656	3,804,340	77,258	3,881,598	4,417,702	-	4,417,702	-	Complete	4,417,702	(536,104)	113.8%	100.0%
NW	93-922	Rock Creek Trail #5 & Allenbach, North Bethany #2	P0654	2,262,040	79,704	2,341,744	1,734,031	796	1,734,827	789,669	On Hold	2,524,496	(182,752)	74.1%	68.7%
UND	93-923	Miscellaneous Natural Trails	P0655	100,000	2,798	102,798	30,394	-	30,394	72,404	Budget	102,798	-	29.6%	29.6%
NW	91-912	Nature Park - Old Wagon Trail	P0628	359,870	3,094	362,964	238,702	-	238,702	-	Complete	238,702	124,262	65.8%	100.0%
NE	91-913	NE Quadrant Trail - Bluffs Phase 2	P0647	257,050	14,714	271,764	414,817	-	414,817	-	Complete	414,817	(143,053)	152.6%	100.0%
SW	93-921	Lowami Hart Woods	P0653	822,560	55,532	878,092	1,258,746	-	1,258,746	-	Complete	1,258,746	(380,654)	143.4%	100.0%
NW	91-911	Westside - Waterhouse Trail Connection	P0646	1,542,300	43,313	1,585,613	350,543	52,432	402,975	447,681	Design Dev	850,656	734,957	25.4%	47.4%
Total New Linear Park and Trail Development				15,060,310	405,759	15,466,069	14,067,652	53,228	14,120,880	1,309,754		15,430,634	35,435	91.3%	91.5%
New Linear Park and Trail Land Acquisition															
UND	98-883	New Linear Park and Trail Acquisitions	L0295	1,200,000	22,894	1,222,894	1,216,071	4,715	1,220,786	2,108	Budget	1,222,894	-	99.8%	99.8%
Total New Linear Park and Trail Land Acquisition				1,200,000	22,894	1,222,894	1,216,071	4,715	1,220,786	2,108		1,222,894	-	99.8%	99.8%
Multi-field/Multi-purpose Athletic Field Development															
SW	94-925	Winkelman Athletic Field	P0657	514,100	34,434	548,534	941,843	-	941,843	-	Complete	941,843	(393,309)	171.7%	100.0%
SE	94-926	Meadow Waye Park	P0629	514,100	4,791	518,891	407,340	-	407,340	-	Complete	407,340	111,551	78.5%	100.0%
NW	94-927	New Fields in NW Quadrant	P0658	514,100	16,248	530,348	75	-	75	530,273	Budget	530,348	-	0.0%	0.0%
NE	94-928	New Fields in NE Quadrant (Cedar Mill Park)	P0659	514,100	13,893	527,993	527,993	-	527,993	-	Complete	527,993	-	100.0%	100.0%
SW	94-929	New Fields in SW Quadrant	P0660	514,100	16,236	530,336	669	-	669	529,667	Budget	530,336	-	0.1%	0.1%
SE	94-930	New Fields in SE Quadrant (Conestoga Middle School)		514,100	16,240	530,340	35,351	7,256	42,607	467,049	A&E	509,656	20,684	8.0%	8.4%
Total Multi-field/Multi-purpose Athletic Field Dev.				3,084,600	101,842	3,186,442	1,913,271	7,256	1,920,527	1,526,989		3,447,516	(261,074)	60.3%	55.7%
Deferred Park Maintenance Replacements															
UND	96-960	Play Structure Replacements at 11 sites	P0663	810,223	3,685	813,908	772,880	175	773,055	-	Complete	773,055	40,853	95.0%	100.0%
NW	96-720	Bridge/boardwalk replacement - Willow Creek	P0662	96,661	1,276	97,937	127,277	-	127,277	-	Complete	127,277	(29,340)	130.0%	100.0%
SW	96-721	Bridge/boardwalk replacement - Rosa Park	P0630	38,909	369	39,278	38,381	-	38,381	-	Complete	38,381	897	97.7%	100.0%
SW	96-722	Bridge/boardwalk replacement - Jenkins Estate	P0631	7,586	34	7,620	28,430	-	28,430	-	Complete	28,430	(20,810)	373.1%	100.0%
SE	96-723	Bridge/boardwalk replacement - Hartwood Highlands	P0632	10,767	134	10,901	985	-	985	-	Cancelled	985	9,916	9.0%	100.0%
NE	96-998	Irrigation Replacement at Roxbury Park	P0633	48,854	63	48,917	41,902	-	41,902	-	Complete	41,902	7,015	85.7%	100.0%
UND	96-999	Pedestrian Path Replacement at 3 sites	P0634	116,687	150	116,837	118,039	-	118,039	-	Complete	118,039	(1,202)	101.0%	100.0%
SW	96-946	Permeable Parking Lot at Aloha Swim Center	P0635	160,914	1,515	162,429	191,970	-	191,970	-	Complete	191,970	(29,541)	118.2%	100.0%
NE	96-947	Permeable Parking Lot at Sunset Swim Center	P0701	160,914	3,401	164,315	512,435	-	512,435	-	Complete	512,435	(348,120)	311.9%	100.0%
Sub-total Deferred Park Maintenance Replacements				1,451,515	10,627	1,462,142	1,832,299	175	1,832,474	-		1,832,474	(370,332)	1321.5%	900.0%
UND		Authorized Use of Savings from Facility Expansion & Improvements Category		-	177,920	177,920	-	-	-	-	N/A	-	177,920	n/a	n/a
UND		Authorized Use of Savings from Bond Issuance Administration Category		-	192,412	192,412	-	-	-	-	N/A	-	192,412	n/a	n/a
Total Deferred Park Maintenance Replacements				1,451,515	380,959	1,832,474	1,832,299	175	1,832,474	-		1,832,474	-	100.0%	100.0%

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Facility Rehabilitation															
UND	95-931	Structural Upgrades at Several Facilities	B0459	317,950	(195,027)	122,923	110,904	278	111,182	-	Complete	111,182	11,741	90.4%	100.0%
SW	95-932	Structural Upgrades at Aloha Swim Center	B0460	406,279	8,432	414,711	518,302	-	518,302	-	Complete	518,302	(103,591)	125.0%	100.0%
SE	95-933	Structural Upgrades at Beaverton Swim Center	B0461	1,447,363	35,472	1,482,835	820,007	433	820,440	49,392	Const Docs	869,832	613,003	55.3%	94.3%
NE	95-934	Structural Upgrades at Cedar Hills Recreation Center	B0517	628,087	17,687	645,774	114,528	169,661	284,189	207,457	Const Docs	491,646	154,128	44.0%	57.8%
SW	95-935	Structural Upgrades at Conestoga Rec/Aquatic Ctr	B0518	44,810	833	45,643	66,762	-	66,762	-	Complete	66,762	(21,119)	146.3%	100.0%
SE	95-937	Structural Upgrades at Garden Home Recreation Center		486,935	16,017	502,952	13,713	13	13,726	627,122	Master Planning	640,848	(137,896)	2.7%	2.1%
SE	95-938	Structural Upgrades at Harman Swim Center	B0462	179,987	2,779	182,766	73,115	-	73,115	-	Complete	73,115	109,651	40.0%	100.0%
NW	95-939-a	Structural Upgrades at HMT/50 Mtr Pool/Aquatic Ctr	B0463	312,176	4,692	316,868	233,369	-	233,369	-	Complete	233,369	83,499	73.6%	100.0%
NW	95-939-b	Structural Upgrades at HMT Aquatic Ctr - Roof Replacement		-	200,873	200,873	1,247	-	1,247	199,626	Master Planning	200,873	-	0.0%	0.0%
NW	95-940	Structural Upgrades at HMT Administration Building	B0464	397,315	6,080	403,395	299,599	-	299,599	-	Complete	299,599	103,796	74.3%	100.0%
NW	95-941	Structural Upgrades at HMT Athletic Center	B0425	65,721	85	65,806	66,000	-	66,000	-	Complete	66,000	(194)	100.3%	100.0%
NW	95-942	Structural Upgrades at HMT Dryland Training Ctr	B0465	116,506	2,101	118,607	75,686	-	75,686	-	Complete	75,686	42,921	63.8%	100.0%
NW	95-943	Structural Upgrades at HMT Tennis Center	B0466	268,860	4,949	273,809	74,804	-	74,804	-	Complete	74,804	199,005	27.3%	100.0%
SE	95-944	Structural Upgrades at Raleigh Swim Center	B0426	4,481	6	4,487	5,703	-	5,703	-	Complete	5,703	(1,216)	127.1%	100.0%
NW	95-945	Structural Upgrades at Somerset Swim Center	B0427	8,962	12	8,974	9,333	-	9,333	-	Complete	9,333	(359)	104.0%	100.0%
NE	95-950	Sunset Swim Center Structural Upgrades	B0467	1,028,200	16,245	1,044,445	626,419	-	626,419	-	Complete	626,419	418,026	60.0%	100.0%
NE	95-951	Sunset Swim Center Pool Tank	B0396	514,100	275	514,375	308,574	-	308,574	-	Complete	308,574	205,801	60.0%	100.0%
UND	95-962	Auto Gas Meter Shut Off Valves at All Facilities		-	-	-	6,743	184	6,927	24,489	Const Docs	31,416	(31,416)	0.0%	22.0%
Total Facility Rehabilitation				6,227,732	121,511	6,349,243	3,424,808	170,569	3,595,377	1,108,086		4,703,463	1,645,780	56.6%	76.4%
Facility Expansion and Improvements															
SE	95-952	Elsie Stuhr Center Expansion & Structural Improvements	B0468	1,997,868	30,311	2,028,179	2,039,367	-	2,039,367	-	Complete	2,039,367	(11,188)	100.6%	100.0%
SW	95-953	Conestoga Rec/Aquatic Expansion & Splash Pad	B0469	5,449,460	83,658	5,533,118	5,435,930	-	5,435,930	-	Complete	5,435,930	97,188	98.2%	100.0%
SW	95-954	Aloha ADA Dressing Rooms	B0428	123,384	158	123,542	178,764	-	178,764	-	Complete	178,764	(55,222)	144.7%	100.0%
NW	95-955	Aquatics Center ADA Dressing Rooms	B0458	133,666	1,083	134,749	180,540	-	180,540	-	Complete	180,540	(45,791)	134.0%	100.0%
NE	95-956	Athletic Center HVAC Upgrades	B0429	514,100	654	514,754	321,821	-	321,821	-	Complete	321,821	192,933	62.5%	100.0%
Sub-total Facility Expansion and Improvements				8,218,478	115,864	8,334,342	8,156,422	-	8,156,422	-		8,156,422	177,920	97.9%	100.0%
UND		Authorized Use of Savings for Deferred Park Maintenance Replacements Category		-	(177,920)	(177,920)	-	-	-	-	N/A	-	(177,920)	n/a	n/a
Total Facility Expansion and Improvements				8,218,478	(62,056)	8,156,422	8,156,422	-	8,156,422	-		8,156,422	-	100.0%	100.0%
ADA/Access Improvements															
NW	95-957	HMT ADA Parking & other site improvement	B0470	735,163	19,029	754,192	955,786	25,270	981,056	52,665	Bid Award	1,033,721	(279,529)	130.1%	94.9%
UND	95-958	ADA Improvements - undesignated funds	P0661	116,184	2,663	118,847	72,245	-	72,245	-	Complete	72,245	46,602	60.8%	100.0%
SW	95-730	ADA Improvements - Barrows Park	P0702	8,227	104	8,331	6,825	-	6,825	-	Complete	6,825	1,506	81.9%	100.0%
NW	95-731	ADA Improvements - Bethany Lake Park	P0636	20,564	194	20,758	25,566	-	25,566	-	Complete	25,566	(4,808)	123.2%	100.0%
NE	95-732	ADA Improvements - Cedar Hills Recreation Center	P0703	8,226	130	8,356	8,255	-	8,255	-	Complete	8,255	101	98.8%	100.0%
NE	95-733	ADA Improvements - Forest Hills Park	P0704	12,338	197	12,535	23,416	-	23,416	-	Complete	23,416	(10,881)	186.8%	100.0%
SE	95-734	ADA Improvements - Greenway Park		15,423	196	15,619	-	-	-	-	Cancelled	-	15,619	0.0%	0.0%
SW	95-735	ADA Improvements - Jenkins Estate	P0705	16,450	262	16,712	11,550	-	11,550	-	Complete	11,550	5,162	69.1%	100.0%
SW	95-736	ADA Improvements - Lawndale Park	P0598	30,846	40	30,886	16,626	-	16,626	-	Complete	16,626	14,260	53.8%	100.0%
NE	95-737	ADA Improvements - Lost Park	P0706	15,423	245	15,668	15,000	-	15,000	-	Complete	15,000	668	95.7%	100.0%
NW	95-738	ADA Improvements - Rock Crk Pwline Prk (Soccer Fld)	P0707	20,564	327	20,891	17,799	-	17,799	-	Complete	17,799	3,092	85.2%	100.0%
NW	95-739	ADA Improvements - Skyview Park	P0708	5,140	82	5,222	7,075	-	7,075	-	Complete	7,075	(1,853)	135.5%	100.0%
NW	95-740	ADA Improvements - Waterhouse Powerline Park		8,226	176	8,402	8,402	-	8,402	-	Complete	8,402	-	100.0%	100.0%
NE	95-741	ADA Improvements - West Sylvan Park	P0709	5,140	82	5,222	5,102	-	5,102	-	Complete	5,102	120	97.7%	100.0%
SE	95-742	ADA Improvements - Wonderland Park	P0710	10,282	163	10,445	4,915	-	4,915	-	Complete	4,915	5,530	47.1%	100.0%
Total ADA/Access Improvements				1,028,196	23,890	1,052,086	1,178,562	25,270	1,203,832	52,665		1,256,497	(204,410)	114.4%	95.8%
UND		Authorized Use of Savings from Bond Issuance Administration Category		-	204,410	204,410	-	-	-	-	N/A	-	204,410	n/a	n/a
Total ADA/Access Improvements				1,028,196	228,300	1,256,496	1,178,562	25,270	1,203,832	52,665		1,256,497	-	95.8%	95.8%

Tualatin Hills Park and Recreation District
Monthly Bond Capital Projects Report
Estimated Cost vs. Budget
Through 10/31/2015

Completed FY 12
 Completed FY 11
 Completed FY 10
 Completed FY 09

Quad- rant	Project Code	Description	Asset ID#	Project Budget			Project Expenditures			Estimated Cost to Complete	Basis of Estimate (Completed Phase)	Project Cumulative Cost	Variance		
				Initial Project Budget	Adjustments	Current Total Project Budget FY 15/16	Expended Prior Years	Expended Year-to-Date	Total Expended to Date				Est. Cost (Over) Under Budget	Cost Expended to Budget	Cost Expended to Total Cost
				(1)	(2)	(1+2)=(3)	(4)	(5)	(4+5)=(6)	(7)	(6+7)=(9)	(3-9) = (10)	(6) / (3)	(6)/(9)	
Community Center Land Acquisition															
UND	98-884-a	Community Center / Community Park (SW Quadrant) (Hulse/BSD/Engel)	L0296	5,000,000	103,517	5,103,517	1,544,729	74,332	1,619,061	10,187	Complete	1,629,248	3,474,269	31.7%	99.4%
UND	98-884-b	Community Center / Community Park (SW Quadrant) (Wenzel/Wall)		-	-	-	2,351,777	-	2,351,777	-	Complete	2,351,777	(2,351,777)	n/a	100.0%
Sub-total Community Center Land Acquisition				5,000,000	103,517	5,103,517	3,896,506	74,332	3,970,838	10,187		3,981,025	1,122,492	77.8%	99.7%
UND		Outside Funding from Washington County Transferred to New Community Park Development		-	(176,000)	(176,000)	-	-	-	-	N/A	-	(176,000)	n/a	n/a
UND		Outside Funding from Metro Transferred to New Community Park Development		-	(208,251)	(208,251)	-	-	-	-	N/A	-	(208,251)	n/a	n/a
UND		Authorized Use of Savings for New Neighborhood Parks Land Acquisition Category		-	(738,241)	(738,241)	-	-	-	-	N/A	-	(738,241)	n/a	n/a
Total Community Center Land Acquisition				5,000,000	(1,018,975)	3,981,025	3,896,506	74,332	3,970,838	10,187		3,981,025	-	99.7%	99.7%
Bond Administration Costs															
ADM		Debt Issuance Costs		1,393,000	(539,654)	853,346	68,142	-	68,142	-	Complete	68,142	785,204	8.0%	100.0%
ADM		Bond Accountant Personnel Costs		-	241,090	241,090	281,603	7,075	288,678	-	Complete	288,678	(47,588)	119.7%	100.0%
ADM		Deputy Director of Planning Personnel Costs		-	57,454	57,454	57,454	-	57,454	-	Complete	57,454	-	n/a	100.0%
ADM		Communications Support		-	50,000	50,000	12,675	-	12,675	37,325	Budget	50,000	-	25.4%	25.4%
ADM		Technology Needs		18,330	-	18,330	23,952	-	23,952	-	Complete	23,952	(5,622)	130.7%	100.0%
ADM		Office Furniture		7,150	-	7,150	5,378	-	5,378	-	Complete	5,378	1,772	75.2%	100.0%
ADM		Admin/Consultant Costs		31,520	-	31,520	48,093	-	48,093	-	Complete	48,093	(16,573)	152.6%	100.0%
ADM		Additional Bond Proceeds		-	1,507,717	1,507,717	-	-	-	-	Budget	-	1,507,717	0.0%	0.0%
Sub-total Bond Administration Costs				1,450,000	1,316,607	2,766,607	497,297	7,075	504,372	37,325		541,697	2,224,910	18.2%	93.1%
UND		Authorized Use of Savings for Deferred Park Maintenance Replacements Category		-	(192,412)	(192,412)	-	-	-	-	N/A	-	(192,412)	n/a	n/a
UND		Authorized Use of Savings for New Neighborhood Parks Development Category		-	(224,636)	(224,636)	-	-	-	-	N/A	-	(224,636)	n/a	n/a
UND		Authorized Use of Savings for ADA/Access Improvements Category		-	(204,410)	(204,410)	-	-	-	-	N/A	-	(204,410)	n/a	n/a
Total Bond Administration Costs				1,450,000	695,149	2,145,149	497,297	7,075	504,372	37,325		541,697	1,603,452	23.5%	93.1%
Grand Total				100,000,000	3,630,281	103,630,281	73,435,455	691,566	74,127,022	32,050,450		106,177,472	(2,547,190)	71.5%	69.8%

THPRD Bond Capital Program
Funds Reprogramming Analysis - Based on Category Transfer Eligibility
As of 9/30/2015

		Category (Over)	Under Budget
Limited Reprogramming			
Land: New Neighborhood Park		-	
New Community Park		-	
New Linear Park		-	
New Community Center/Park		-	
		-	
		-	
Nat Res: Restoration		-	
Acquisition		-	
		-	
		-	
All Other			
New Neighborhood Park Dev		-	
Neighborhood Park Renov		(1,499,010)	
New Community Park Dev		(3,451,307)	
Community Park Renov		(620,466)	
New Linear Parks and Trails		35,435	
Athletic Field Development		(261,074)	
Deferred Park Maint Replace		-	
Facility Rehabilitation		1,645,780	
ADA		-	
Facility Expansion		-	
Bond Admin Costs		1,603,452	
		(2,547,190)	
		(2,547,190)	
Grand Total		(2,547,190)	



MEMORANDUM

Date: November 9, 2015

To: Board of Directors

From: Keith Hobson, Director of Business and Facilities

Re: **System Development Charge Report for September, 2015**

The Board of Directors approved a resolution implementing the System Development Charge program on November 17, 1998. Below please find the various categories for SDC's, i.e., Single Family, Multiple Family and Non-residential Development. Also listed are the collection amounts for both the City of Beaverton and Washington County, and the 1.6% handling fee for collections through September 2015.

Type of Dwelling Unit	Current SDC per Type of Dwelling Unit
Single Family	\$6,450.00 with 1.6% discount = \$6,346.80
Multi-Family	\$4,824.00 with 1.6% discount = \$4,746.82
Non-residential	\$167.00 with 1.6% discount = \$164.33

<u>City of Beaverton Collection of SDCs</u>		<u>Receipts</u>	<u>Collection Fee</u>	<u>Total Revenue</u>
2,915	Single Family Units	\$8,693,482.75	\$229,515.75	\$8,922,998.50
15	Single Family Units at \$489.09	\$7,336.35	\$221.45	\$7,557.80
1,835	Multi-family Units	\$4,394,681.47	\$110,665.30	\$4,505,346.77
0	Less Multi-family credits	(\$7,957.55)	(\$229.36)	(\$8,186.91)
244	Non-residential	\$605,423.19	\$17,097.77	\$622,520.96
5,009		\$13,692,966.21	\$357,270.91	\$14,050,237.12

<u>Washington County Collection of SDCs</u>		<u>Receipts</u>	<u>Collection Fee</u>	<u>Total Revenue</u>
7,830	Single Family Units	\$25,638,332.36	\$627,268.87	\$26,265,601.23
-300	Less Credits	(\$623,548.98)	(\$19,285.02)	(\$642,834.00)
2,731	Multi-family Units	\$7,354,441.45	\$180,976.96	\$7,535,418.41
-24	Less Credits	(\$47,323.24)	(\$1,463.61)	(\$48,786.85)
138	Non-residential	\$653,684.86	\$15,961.66	\$669,646.52
10,375		\$32,975,586.45	\$803,458.86	\$33,779,045.31

<u>Recap by Agency</u>	<u>Percent</u>	<u>Receipts</u>	<u>Collection Fee</u>	<u>Total Revenue</u>
5,009	City of Beaverton	\$13,692,966.21	\$357,270.91	\$14,050,237.12
10,375	Washington County	\$32,975,586.45	\$803,458.86	\$33,779,045.31
15,384		\$46,668,552.66	\$1,160,729.77	\$47,829,282.43

<u>Recap by Dwelling</u>	<u>Single Family</u>	<u>Multi-Family</u>	<u>Non-Resident</u>	<u>Total</u>
City of Beaverton	2,930	1,835	244	5,009
Washington County	<u>7,530</u>	<u>2,707</u>	<u>138</u>	<u>10,375</u>
	<u>10,460</u>	<u>4,542</u>	<u>382</u>	<u>15,384</u>

Total Receipts to Date **\$46,668,552.66**

Total Payments to Date

Refunds	(\$2,066,073.93)	
Administrative Costs	(\$18.65)	
Project Costs -- Development	(\$23,001,383.45)	
<u>Project Costs -- Land Acquisition</u>	<u>(\$13,069,264.34)</u>	<u>(\$38,136,740.37)</u>
		<u>\$8,531,812.29</u>

<u>Recap by Month, FY 2015/16</u>	<u>Receipts</u>	<u>Expenditures</u>	<u>Interest</u>	<u>SDC Fund Total</u>
through June 2015	\$45,527,302.88	(\$34,704,447.38)	\$2,129,257.30	\$12,952,112.80
July	\$304,530.36	(\$80,138.07)	\$5,390.30	\$229,782.59
August	\$381,690.83	(\$2,990,524.18)	\$5,581.25	(\$2,603,252.10)
September	\$455,028.59	(\$361,630.74)	\$4,686.49	\$98,084.34
October	\$0.00	\$0.00	\$0.00	\$0.00
November	\$0.00	\$0.00	\$0.00	\$0.00
December	\$0.00	\$0.00	\$0.00	\$0.00
January	\$0.00	\$0.00	\$0.00	\$0.00
February	\$0.00	\$0.00	\$0.00	\$0.00
March	\$0.00	\$0.00	\$0.00	\$0.00
April	\$0.00	\$0.00	\$0.00	\$0.00
May	\$0.00	\$0.00	\$0.00	\$0.00
June	\$0.00	\$0.00	\$0.00	\$0.00
	<u>\$46,668,552.66</u>	<u>(\$38,136,740.37)</u>	<u>\$2,144,915.34</u>	<u>\$10,676,727.63</u>

<u>Recap by Month, by Unit</u>	<u>Single Family</u>	<u>Multi-Family</u>	<u>Non-Residential</u>	<u>Total Units</u>
through June 2015	10,303	4,511	378	15,192
July	47	4	0	51
August	39	26	2	67
September	72	0	2	74
October	0	0	0	0
November	0	0	0	0
December	0	0	0	0
January	0	0	0	0
February	0	0	0	0
March	0	0	0	0
April	0	0	0	0
May	0	0	0	0
June	0	0	0	0
	<u>10,461</u>	<u>4,541</u>	<u>382</u>	<u>15,384</u>

Projected SDC balance as of June 30, 2015 per the budget was \$11,440,748. Actual balance was \$11,544,271. This fiscal year's projected total receipts per the budget are \$4,780,750.

THPRD advisory committees seek applicants

Groups advise district's board of directors on long-term planning issues

The Times

The Tualatin Hills Park & Recreation District is accept-

ing applications for positions on two of its three volunteer advisory committees.

The Parks & Facilities committee and the Program & Events committee work with the district's elected board of directors to provide guidance with long-term planning related to

the district's comprehensive plan.

The applications are due by Nov. 5. Applications are online at thprd.org.

Advisory committee members are appointed to two- or three-year terms. The groups meet on the third Tuesday of each month, beginning Jan. 19.

The district is not currently seeking new members for its third committee, Nature & Trails.

The three advisory committees were formed during a restructuring of the volunteer

groups earlier this year, which consolidated eight committees into three. Each committee includes a member of the board of directors.

"We want citizens to feel engaged and to be working on the most important items," Bruce Barbarasch, superintendent of natural resources and trails management, said in a news release.

"By bringing board members into the room with citizens, we feel we'll have a more focused group."

SPECIAL EVENTS

GREAT PUMPKIN HUNT — Enjoy Halloween-themed activities and decorations, as well as a flashlight pumpkin hunt outside, at the Garden Home Recreation Center, 7475 S.W. Oleson Rd., from 6 to 8 p.m. Friday, Oct. 23. Admission is \$10.

CONESTOGA HALLOWEEN FESTIVAL — Stop by the trick-or-treat village, the chills and thrills carnival, the little goblin play zone, and the annual pop! party for children ages 8 to 13 at the Conestoga Recreation & Aquatic Center in Beaverton, 9985 SW 125th Ave., from 6:30 to 8:30 p.m. Friday, Oct. 23. Costumes are encouraged. Admission is \$7.

PUMPKIN BOB — Take a souvenir from the "floating pumpkin patch" at Harman Swim Center, 7300 S.W. Scholls Ferry Rd., Beaverton, from 3 to 6 p.m. Saturday, Oct. 24. The Disney movie "Hocus Pocus" will also be shown. Admission is \$10 and pre-registration is required. To register, call 503-629-6314.

HALLOWEEN COSTUME PARTY AND DANCE — Enjoy an afternoon of music, dancing, snacks and fun for visitors 55 and older at the Elsie Stuhr Center, 5550 S.W. Hall Blvd., Beaverton, from 1:30 to 3:30 p.m. Oct. 29. Prizes will be awarded for the best costumes. Admission is \$5.



Tualatin Hills Park & Recreation District provides gardening opportunities at 12 sites within the district. COURTESY THPRD

Community gardens

Why not give a local garden a whirl? Community gardens not only give you a chance to make something grow, but they also provide a chance to get outside and enjoy the fresh air in communities with no shortage of public, communal plots to tend. Some gardens are subject to fees and waiting lists.

Beaverton

■ **BEAVERTON COMMUNITY GARDENS** — Locations throughout Beaverton. (503-526-2665 / bea-

vertonoregon.gov/index.aspx?NID=393)

■ **CEDAR HILLS PARK COMMUNITY GARDEN** — Operated by the Tualatin Hills Park & Recreation District, Cedar Hills Boulevard, north of Walker Road. (503-645-6433 / thprd.org/parks/communitygardens.cfm)

■ **HALL STREET COMMUNITY GARDEN** — Fifth Street and Hall Boulevard (facebook.com/pages/Beaverton-Community-Garden-Hall-Street)

■ **HARMAN SWIM CENTER COMMUNITY GARDEN** — Operated by the Tualatin Hills Park & Rec-

reation District, 7300 S.W. Scholls Ferry Road. (thprd.org/parks/communitygardens.cfm)

■ **JOHN MARTY PARK COMMUNITY ORGANIC GARDEN** — Powerline corridor between Charlais Street and Somerset Drive.

■ **KENNEDY COMMUNITY GARDENS** — Operated by St. Matthew Lutheran Church, Southwest 103rd Court and Kennedy Street. (503-644-9148)

A FESTIVAL FOR EVERYONE

■ **PARTY IN THE PARK** (503-645-6433 / thprd.org/events/partyinthepark.cfm) — Held the last Saturday in July at the Howard M. Terpenning Recreation Complex, this is Beaverton's biggest summer event. It also features The Classic at T-Hills car and truck show, the Beaverton International Celebration and Family Triathlon.

It's playtime!

Local sites offer tons of options for both indoor and outdoor play

Beaverton/Portland

■ **CEDAR HILLS INDOOR PLAYGROUND** — 11640 S.W. Park Way, Cedar Hills (503-629-6340). More indoor fun with toys and equipment for kids ages newborn to 6 years old. The indoor playground also is a place for kids to interact and work on social and motor skills. Call for fees.

■ **GARDEN HOME INDOOR PLAY PARK** — 7475 S.W. Oleson

Road, Garden Home (503-629-6341). Open October through May, this indoor play park offers kids ages newborn to 6 years old a supervised gym filled with games, toys, playhouses and other activities to help kids develop communication, special awareness and motor skills, as well as options for kids with special needs. Parent participation is required. The play park is open Mondays, Wednesdays and Fridays from 9:30 to 11:30 a.m. Call for fees.

Beaverton

Diverse, energetic and growing

From the outside looking in, Beaverton appears to be an endless suburb, a place where every road serves as a major arterial, and apartments exist in seemingly unending number, matched only by the city's many shops, restaurants and malls.

For its residents, however, Beaverton is much more than that.

Beaverton, home to more than 94,000 residents (it's Washington County's second-most populous city) is an incredibly diverse place with a long and proud history. It's home to: Beaverton High School (which will turn 100 years old in 2016) and five other large comprehensive high schools; one of the country's biggest and most influential park districts (Tualatin Hills Park & Recreation District); Oregon's "Silicon Forest" (including Tektronix, IBM and Intel); and shoe, apparel and sports equipment giant Nike.

It wasn't always quite so busy here, though. Beaverton, originally inhabited by tribes of Native Americans known as Atfalati, was settled in the 1840s by trappers and traders attracted by the abundant wildlife, forests, fertile soil and free government-issued land.

The city was established with 400 people in 1868 as a shipping



PAMPLIN MEDIA GROUP PHOTO: JONATHAN HOUSE

Warm temperatures often bring large crowds — like this one in 2013 — to the Beaverton Farmers Market.

center on the Oregon Central Railroad (handling timber and produce), and rail has continued to play an outside role in the city's development and growth. In September of 1998, the reintroduction of passenger rail to the city was accomplished through the completion of the Westside MAX line. The light-rail project, completed by the regional transit agency TriMet, links downtown Portland and Hillsboro with three stations in Beaverton. Additions to that light-rail line, followed by the completion of the WES com-

muter line in late 2008 (a 14.7-mile route linking Beaverton to Tigard, Tualatin and Wilsonville) prompted many planners to redefine Beaverton's previous status — based on its mass transit options and pedestrian traffic — as an auto-dependent suburb.

Beaverton's roots, however, long predate the railroad. Lawrence Hall made the first land claim in what is now Beaverton, taking up 640 acres in 1847, and Hall Boulevard is one of many parts of Beaverton named for its first pioneers. Though primarily

BEAVERTON ON THE WEB

- City of Beaverton (beavertonoregon.gov)
- Beaverton School District (beaverton.k12.or.us)
- Beaverton Area Chamber of Commerce (beaverton.org)
- Tualatin Hills Park and Recreation District (thprd.org)

an agricultural town at its founding, Beaverton briefly flirted with the glamorous world of motion pictures during the silent-film era before its local film company went bankrupt in 1925.

Today, Beaverton continues to be one of the fastest-growing cities in Oregon, with city planners working toward comprehensive reinventions of the Canyon Road corridor and the historic downtown core, commercial developments such as Progress Ridge on the south end, the more centralized Cedar Hills Crossing, and most recently, Timberland Town Center on Northwest Barnes Road.

Central Beaverton remains the city's core, featuring events such as the annual Celebration Parade and Fun Run, its hugely successful Farmers Market, and live music at First Fridays and Third Thursdays from spring through early fall.

Tualatin Hills Park & Recreation District



**Need an escape to nature?
Looking for a good
game or swim?
Want to learn a new skill?**

Come to THPRD. We offer outstanding parks, programs, pools and sports for everyone in the greater Beaverton area. We're invested in you.

**Call 503-645-6433
or visit www.thprd.org**



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Dog parks

Dogs are social animals at heart, and crave not only the great outdoors but new and exciting company to go with it. Give Fido an impromptu meet-up at one of these great devoted dog play areas, where he can romp with neighbors and make some new furry friends:

Beaverton

- **HAZLEDALE PARK** — Southwest 192nd Avenue and Prospect Place in Aloha
- **WINKELMAN PARK** — 10139 S.W. 175th Ave. in Cooper Mountain
- **GREAT DOG WALKING PARKS IN TUALATIN HILLS PARK & RECREATION DISTRICT** — thprd.org/pdfs/document301.pdf

Hit the HARDWOOD

Where to shoot baskets

Beaverton

- **CHANNING HEIGHTS** — 6306 S.W. Valley Circle
- **EICHLER PARK** — 13710 S.W. Farmington Road
- **KENNEDY PARK** — 10200 S.W. Kennedy St.
- **PIONEER PARK** — 14545 N.W. Pioneer Road

Airwalk or alley-oop at local skate parks

Area shops offer places to pick up right gear to keep rolling in style

Skate parks can be found throughout the area, with sites in cities such as Tigard, Beaverton, Tualatin, Hillsboro, West Linn and Wilsonville.

Here's a round-up of places to roll:

■ **BEAVERTON:** Tualatin Hills Park & Recreation District of-

fers Howard M. Terpenning Center Skate Park, 15707 S.W. Walker Road; and the "skate spot" at the Evelyn M. Schiffer Memorial Park, Southwest Erickson Avenue and Southwest Berthold Street. (503-645-6433)



PAMPLIN MEDIA GROUP FILE PHOTO

Skateboarders enjoy the skate park at Evelyn M. Schiffer Memorial Park in Beaverton.



PAMPLIN MEDIA GROUP FILE PHOTO

The pool at Tualatin Hills Aquatic Center was a big hit with families during the 2015 Party in the Park.

A wealth of Parks & Rec offerings

Collectively our parks and recreation departments have enough activities to hold almost anyone's interests — whether you like to venture into the great outdoors, take an intriguing indoor class, take part in heart-thumping athletics and plenty more.

The wealth of park and recreation amenities is vast, from high up at Cooper Mountain Nature Park near Beaverton to downstream at George Rogers Park in Lake Oswego.

Many of our communities also have recreation centers for indoor sports and activities for all ages.

Check out the facilities closest to your home.

■ **BEAVERTON: TUALATIN HILLS PARK & RECREATION DISTRICT**, 15707 S.W. Walker Road. Contact: 503-645-6433 or thprd.org.

GET IN THE SWIM OF THINGS



Beaverton resident Kevin Sanders helped his then 2-year-old daughter swim during a family triathlon at the Tualatin Hills Aquatic Center in 2014.

PAMPLIN MEDIA GROUP FILE PHOTO

Water features, pools make it easy to be cool

Summer may be the peak period for swimming and aquatic activities, but the many facilities across the South Metro area ensure that there's always a pool or two to enjoy. Many of them offer classes in addition to open swimming for water lovers of all ages:

Beaverton

■ **TUALATIN HILLS AQUATIC CENTER**: 15707 S.W. Walker Rd.; 503-629-6310.

■ **CONESTOGA RECREATION AND AQUATIC CENTER**: 9985 S.W. 125th Ave.; 503-629-6313.

■ **BEAVERTON SWIM CENTER**: 12850 S.W. Third St.; 503-629-6312.

■ **HARMAN SWIM CENTER**: 7300 S.W. Scholls Ferry Rd.; 503-629-6314.

■ **CITY PARK SPRAY PARK**: S.W. Fifth Avenue and Hall Boulevard

Tualatin Hills Park & Recreation District: connecting people, parks and nature

Outdoor circuit training system is district's first

by Bill Evans, THPRD

THPRD has jumped on a fitness trend that provides Elsie Stuhr Center patrons and other area residents an opportunity to get fit while enjoying the outdoors.

In August, a Life Fitness "training station" was installed in the park behind the Stuhr Center (5550 SW Hall Blvd, Beaverton). The apparatus resembles a giant play structure, with eight stations to accommodate circuit training for anyone who wants to tone their physique in a pleasant outdoor setting.

The structure is the first of its kind in the park district.

"There's something to climb on, something to do pull-ups on, something to do abdominal exercises on; it covers a big footprint," said Lisa Novak, THPRD superintendent of Programs & Special Activities and Stuhr Center supervisor.

The apparatus, which opened to the public on Aug. 31, has visual instructions to help new users. Those who are savvy with technology can scan QR codes with their smartphone for detailed instructions.

Novak expects the new attraction to provide community benefit to older adults at the Stuhr Center and students at nearby Pilgrim Lutheran School, as well as park neighbors in the densely populated central Beaverton district.

"It's for everyone, and we're hoping it will be highly used," Novak said. "Our park gets a lot



Participants in a morning fitness class observe as Carolyn Strayer, Stuhr Center fitness instructor, demonstrates the new circuit training system outside the center. The equipment features eight stations offering a variety of exercises.

of action."

Stuhr Center Program Coordinator Ann Satterfield says the installation has enabled the Stuhr Center to program several small

group fitness classes that use the structure, starting this fall.

"Our staff is excited to bring classes outside and add some playfulness to our fitness classes,"

Satterfield said. "The added dimension of environmental wellness only enhances our program offerings."

Novak said she initially saw the equipment demonstrated at a National Recreation and Parks Association conference last year. She suggested it to the Stuhr Center Advisory Committee for funding consideration.

"They thought it was a great idea," she said. So great, in fact, that they contributed \$16,500 of the \$41,500 total cost for equipment and installation.



Events at Elsie Stuhr Center

Veterans Day Celebration

EVENT

Veterans Day Celebration
 Tuesday, November 10, 11:30am - 1:00pm (Fri)

Join us for a special lunch hour to honor our service men and women who served in the armed forces. The celebration includes special entertainment. Special tables reserved to honor our veterans. Cost of lunch is donation based. Under 60 yrs old \$7.39.

Artisan Fine Art & Craft Sale and Artist Reception
 November 13-14

Mark your calendars for this event! Looking for a unique gift this holiday season? Make plans to join us for the Stuhr Centers Fine Arts and Craft Sale, November 13-14 10a-4p. The sale will feature a variety of original artwork including oil, watercolor and pastel paintings, photography, woodcarving, jewelry, stain & fused glass art and more. All art is from the art students of the Stuhr Center. Meet the artist at our Artists Reception Friday, November 13, 2:00-3:30p. Appetizers and wine will be served. (Manzanita/Larch)

Fine Art Exhibit

If you haven't had the opportunity to see the fine art exhibit throughout the Center, stop by and be prepared to be amazed. All the art displayed are from the students taking various classes from art instructor Teresa Becker. A variety of art classes are offered each term. Exhibit will be displayed through mid-December.

5550 SW Hall Blvd, Beaverton, 97005
 503-634-6342

THPRD plans holiday giving drive

Tualatin Hills Park & Recreation District will be collecting toys, clothing and other items for selected families within its Beaverton-area boundaries for the holiday season.

The park district will also collect food for the Oregon Food Bank.

The public is invited to join employees and support both efforts at THPRD facilities throughout the Beaverton area.

Donations of non-perishable food will be accepted from through Dec. 18 for the Oregon Food Bank-Washington County in Beaverton. As an incentive, THPRD will waive admission to any of its drop-in programs at participating recreation and aquatic centers during the three days after Thanksgiving (Nov. 27-29) with a donation of two non-perishable food items.

Starting Dec. 2 and running through Dec. 18, each THPRD center and administrative facility will have a giving tree, wreath or garland with

“wishing stars” that specify a variety of wish-list items.

Donors will be able to take a wishing star and return with a new, unwrapped gift. All gifts are to be distributed to families that have been identified by the Beaverton School District.

Donations will be accepted at the following park district locations:

- Aloha Swim Center: 18650 S.W. Kinnaman Road, Aloha
- Beaverton Swim Center: 12850 S.W. Third St., Beaverton
- Cedar Hills Recreation Center: 11640 S.W. Park Way, Portland
- Conestoga Recreation & Aquatic Center: 9995 S.W. 125th Ave., Beaverton
- Elsie Stuhr Center: 5550 S.W. Hall Blvd., Beaverton
- Garden Home Recreation Center: 7475 S.W. Oleson Road, Portland
- Harman Swim Center: 7300 S.W. Scholls Ferry Road, Beaverton*
- Sunset Swim Center: 13707 N.W. Science Park Drive, Portland
- Tualatin Hills Aquatic Center: 15707 S.W. Walker Road, Beaverton

verton

- Tualatin Hills Athletic Center: 50 N.W. 158th Ave., Beaverton
- Tualatin Hills Nature Center: 15655 S.W. Millikan Way, Beaverton
- Tualatin Hills Tennis Center: 15707 S.W. Walker Road, Beaverton
- THPRD Administration Office: 15707 S.W. Walker Road, Beaverton

• Fanno Creek Service Center, 6220 S.W. 112th Ave., Beaverton

No drop-in programs are offered at the Tualatin Hills Nature Center, THPRD Administration Office or Fanno Creek Service Center. Drop-in fee waiver is not available at the Tualatin Hills Tennis Center.

— Tualatin Hills Park & Recreation District

THPRD LAUNCHES ANNUAL HOLIDAY GIVING PROGRAM

The Times

Tualatin Hills Park & Recreation District will again work to brighten the holiday season for low-income children and families in the Beaverton area.

THPRD will collect toys, clothing and other items for selected families living within its boundaries and also will collect food for the Oregon Food Bank.

The district invites patrons to join its employees in supporting both holiday giving efforts.

Donations of non-perishable food will be accepted from Nov. 25 through Dec. 18 and be passed on to the Oregon Food Bank's Washington County site in Beaverton.

As an incentive, THPRD will waive admission fees to any of its drop-in programs at participating recreation and aquatic centers during the three days after Thanksgiving (Nov. 27-29) with the donation of two non-perishable food items.

Examples of drop-in activities include open, lap or family swims, pickup basketball or volleyball, indoor track and cardio, and weight exercise rooms.

From Dec. 2-18, THPRD swim and recreation centers and administrative offices will have a giving tree, wreath or garland with "wishing stars" that specify a variety of wish list items.

Donors may take a wishing star and return with a new, unwrapped gift. All gifts will be distributed to families identified by the Beaverton School District.

"Many of our neighbors are hurting and that pain just becomes more acute during the holiday season," said Doug Menke, THPRD general manager. "We encourage everyone with the ability to give to make this time a little brighter for those in need."

For participating locations and other information, go to thprd.com.



EDWARDS ENTERPRISES SHIFTING WITH THE TIMES

TIMES PHOTO: JONATHAN HOUSE
Michael J. helps untangle electrical cords at the Edwards Center.



Janet Chivatal leads a group of Edwards Center clients in a rendition of "Amazing Grace."
TIMES PHOTO: JONATHAN HOUSE

■ State and federal priorities shifting Beaverton workshop toward community jobs for adults with disabilities

By ERIC APALATEGUI
The Times

Sue O. has been coming to Jenkins Estate to pull weeds and rake leaves for about three decades as part of a partnership between Edwards Enterprises and Tualatin Hills Park & Recreation District.

Sue loves the serenity at Jenkins Estate and her wages have helped her — she has a significant learning disability — save enough money to take cherished trips to Disneyland and Las Vegas over the years.

"I like to pull some weeds," she said at one of their final work sessions at Jenkins before a winter break. "I like raking leaves."

Cindy H. — she also has a disability — has worked at Beaverton-based Edwards Enterprises even longer, starting when the organization's workshop first opened 43 years ago.

"I like all the jobs I'm involved in," she explained while running a damp dust cloth over used cables

for Edwards' contract with Comcast.

Due to major shifts now underway for employment programs like Edwards Enterprises, Sue O. and many of her peers may get more opportunities to work at jobs in the community, jobs that would allow her to earn the minimum wage and save up money for living expenses and perhaps more trips.

But for Cindy H., who struggles with anxiety that would make a transition to the outside workforce

difficult, those same changes in employment options for people with disabilities may threaten a job that has been a significant part of her life for more than four decades.

"I think I like working here better," Cindy said.

"She's a prime example of someone who wouldn't succeed in the community," agreed Joel Mosier, director of operations at Edwards Enterprises.

In September, Gov. Kate Brown and other state officials announced



TIMES PHOTO: JAIME VALDEZ

Erin D., a client who works through Edwards Enterprises in Beaverton, rakes leaves at Jenkins Estate.

Edwards: Employment shifts

■ From page A1

the settlement of a lawsuit brought by Disability Rights Oregon and another group on behalf of plaintiffs, including one Aloha woman they said earned 66 cents per hour at Edwards Enterprises.

With the settlement, state officials have pledged to put additional resources into what they call "integrated employment opportunities." Edwards calls them "enclaves" and sends small groups of clients to several job sites, including its 30-year contract with THPRD that is considered a plum job for clients.

But with shifts in funding moving toward community-based jobs, Jessica Leitner, executive director at parent organization Edwards Center, fears that many clients like Cindy might be out of a job if "sheltered workshops" like those provided by Edwards Enterprises lose funding in the transition.

"All of this is swirling around," said Leitner, still unsure how future funding from state and federal sources will

impact their workshop or others that provide similar work programs, including Tualatin Valley Workshop in Hillsboro. "Like all controversial issues, there's multiple sides."

Leitner said "tough choices" may be ahead for both her organization and the clients who work there.

"We definitely do not want to close," she said. "We definitely believe in the work we do."

Mosier believes the 66-cent hourly wage figure quoted in the lawsuit is lower than actual wages the woman earned at his facility several years ago. But he acknowledged that many clients do earn just a few dollars an hour because they get paid a piece rate. That rate is based on prevailing wages for this type of work - about \$11 an hour - but all but a handful of Edwards clients aren't capable of cleaning enough cables or packaging enough gift bags in an hour to make minimum wage, Mosier said.

Based on a tour of the workshop Mosier gave this week, it's clear that clients at Edwards vary widely in produc-

tivity. Many are profoundly affected by development disabilities but seemed happy in their work, while others spent more time socializing with peers and visitors. Some also have significant medical issues, including seizure disorders and medication requirements.

"We have trained personnel that provide those additional supports," Mosier said.

Mosier said Edwards Enterprises provides jobs for about 130 clients. On a given weekday, 90 of those employees busy themselves in the workshop during the first shift, a smaller crew works a swing shift and about 20 go to job sites elsewhere. He said roughly half of those 130 could handle — and would likely thrive — in a community-based job if Edwards had more placements, so signing up new employers is a major focus at the agency.

But dozens of their clients don't have the capacity to be productive outside the workshop, Mosier said.

"They at least have a paycheck" coming from the workshop, he said.

And they have companies

willing to pay them for cleaning or packaging their products.

"Most companies don't leave us because our rates are good and our accuracy is out of sight," Mosier said.

Sam J. has worked at Edwards Enterprises for 10 years, earning money he needs to buy clothes and electronics.

"Otherwise I wouldn't have money for rent or anything," he said.

If he can, Sam is one of the clients who could benefit from the state's promise to support more community-based jobs paying at least minimum wage.

"\$9.25 is pretty good for me," Sam said.

But Loretta W., busily folding science kit bags used in high schools, has no intention of working in the community after 20 years at Edwards Enterprises, where she earns money to help with food and rent.

Asked what else she would do if she couldn't come to the workshop, Loretta simply said: "Nothing."

Tualatin Hills Park & Recreation District: connecting people, parks and nature

Longtime THPRD-Edwards contract a benefit to both

by Amy Milshtein

The Edwards Center, based in Aloha, provides housing, social outlets and employment opportunities to people with developmental disabilities. For the past 30 years, THPRD has partnered with the center, employing a six-person landscape crew at the Jenkins Estate two days a week from April through November.

The program has proved successful and fulfilling for both parties.

“The crew picks weeds, spreads mulch, rakes leaves and scrubs out the greenhouses twice a season,”

says Mike Fontenot, Parks Maintenance coordinator.

This intensive, hands-on labor frees up full-time THPRD staff to work on other projects. It also means fewer fungicides and herbicides are needed throughout the 68-acre site on Cooper Mountain.

“Their work fits well with our integrated pest management program,” Fontenot said.

Crews from the Edwards Center benefit in a multitude of ways. Because they are on fixed incomes, the wages they receive from THPRD allow for extras: a trip to the movies, a new shirt or, in one case, a rose for a girl friend. But this work offers more than just pocket money.

“It gives them a feeling of self-accomplishment and self-worth,” explains Georgia Lampros,



Taking a break from their landscaping duties at THPRD’s Jenkins Estate, Edwards Center workers happily stand for a photo with park district staff.

marketing manager for Edwards Enterprises.

Edwards crew leader Marcie Dearing reports on the positive

effects to her clients.

“One of the workers was having problems in her group home,” she says. “Since starting here, she’s had a big change in attitude, and she’s lost quite a bit a weight!”

“We have had probably 40 different workers over the 30 years that have worked at the Jenkins Estate,” Lampros said. “Even through there are only six at a time, we have always rotated in people who wanted the chance to work at that beautiful place.

“THPRD has changed lives for many, many people.”

The district also delivers classes to a day program at Edwards’ Aloha Community Center. They include nature-

focused offerings from the Tualatin Hills Nature Center and visits from the Elsie Stuhr Center’s Wellness on Wheels (WOW) van.

Rachel Gorman, specialized recreation and inclusion specialist at the Stuhr Center, hopes for more.

“If you don’t have contact with this population, it can seem scary,” Gorman says. “Programs like these normalize the experience and take away that ‘scary unknown’.”



Events at Elsie Stuhr Center

Veterans Day Celebration

Holiday Concert

Tuesday, December 8, 1:30-3pm

EVENT

(Manzanita)

Come and enjoy the season with a variety of musical entertainment with the Children's Bell Choir from Pilgrim Lutheran Church, a sing-a-long of your favorite holiday carols with our own Stuhr Cabaret Chorus and harp musician, from Annie Driscoll, of the Heritage Harp Center. Light refreshments will be served. (Free)

End of the Year Formal Dance

Thursday, December 31, 1:30-3:30p (Manzanita)

Say goodbye to 2015 in the best way...dance it away! Have fun dressing up and enjoy the live 7-piece band, hors d' oeuvres, and a toast to celebrate the New Year! \$5.00 per person at the door.



Elsie Stuhr Center, 5550 SW Hall Blvd,
Beaverton, 503-629-6342

